

Borough Council of
**King's Lynn &
West Norfolk**



Planning Committee
Monday, 7th October, 2024 at 10.30 am
in the Assembly Room, Town Hall, Saturday Market
Place, King's Lynn PE30 5DQ

Reports marked to follow on the Agenda and/or Supplementary Documents

1. **Presentation**

Contact

Democratic Services
Borough Council of King's Lynn and West Norfolk
King's Court
Chapel Street
King's Lynn
Norfolk
PE30 1EX
Tel: 01553 616394
Email: democratic.services@west-norfolk.gov.uk

Planning Committee

7 October 2024

Agenda Item 9

2



23/01763/FM

3





4



AREA SCHEDULE

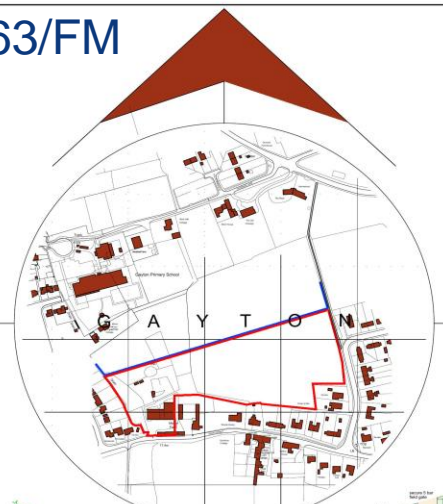
NB: Floor Areas Exclude Garage Floor Areas

Type A: Ground Floor First Floor Total	4 Bed / 4 Person = 103.8m ² = 124.3m ² = 228.1m ²
Type B: Ground Floor First Floor Total	4 Bed / 7 Person = 79.1m ² = 85.9m ² = 165.0m ²
Type C: Ground Floor First Floor Total	3 Bed / 5 Person = 63.3m ² = 57.4m ² = 120.7m ²
Type D: Ground Floor First Floor Total	3 Bed / 5 Person = 48.2m ² = 48.2m ² = 96.4m ²
Type E: Ground Floor First Floor Total	3 Bed / 5 Person = 137.5m ² = 137.5m ² = 275.0m ²
Type F & F1: Ground Floor First Floor Total	2 Bed / 4 Person = 40.5m ² = 40.5m ² = 81.0m ²
Type G, G1, G2 & G3: Ground Floor First Floor Total	3 Bed / 5 Person = 53.3m ² = 51.3m ² = 104.6m ²
Type H: Ground Floor First Floor Total	2 Bed / 3 Person = 75.9m ² = 83.8m ² = 159.7m ²
Type H1: Ground Floor First Floor Total	3 Bed / 5 Person = 66.3m ² = 66.3m ² = 132.6m ²

- General Notes
- The drawings shall not be scaled. Signed dimensions only to be used.
 - All dimensions are given in millimetres unless otherwise stated.
 - The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
 - The drawings shall be read in conjunction with all relevant approvals and specialist sub-contractors drawings and specifications.
 - Any discrepancies are to be brought to the designers attention.

SITE KEY

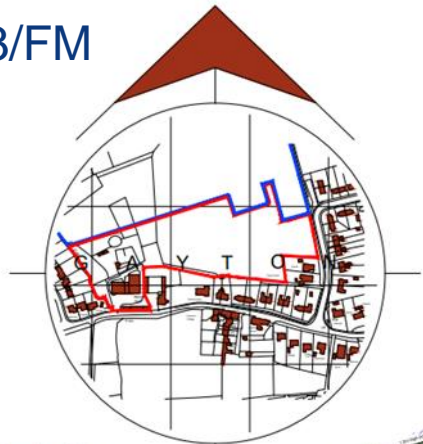
- Indicates Affordable Housing
- Indicates proposed trees
- Indicates proposed street trees
- Indicates proposed hedge
- Indicates existing trees
- Indicates proposed grass
- Indicates proposed paths and paths
- Indicates proposed permeable driveway
- Indicates 1.2m x 2m square street drain
- Indicates existing buildings from Ordnance Survey plan
- Indicates 1.8m high brick wall
- Indicates 1.8m high stone wall
- Indicates 1.8m high stone wall with chain linked roller shutter
- North indicates existing footpath, generally 1.5 - 1.8m wide (shown along length). Footpath to be reinstated in width along its length. To be installed and designed in accordance with engineer design. See supporting photographs and report separation.



FOR APPROVAL

SWANN EDWARDS ARCHITECTURE
 Swann Edwards Architecture Limited, Swann Edwards Architecture, One Storey, The Wood, Gorton, Woking, Surrey, GU24 0AA, UK
 T: 01483 40034 • E: info@swannedwards.co.uk • www.swannedwards.co.uk

Site Title Proposed Residential Development Back Street Gayton	May 2024	Drawn by GJT Checked by JBL
Drawing Title Site and Location Plans	Sheet No. 02-1758	Drawn by A1 Checked by G
Project No. PP1001		



Location Plan
Scale: 1:2500

9



Site Plan
Scale: 1:500

- General Notes
- The drawing shall be read in conjunction with the specification and any other documents referred to herein.
 - All dimensions are given in millimetres unless otherwise stated.
 - The contractor shall ensure that all work is carried out in accordance with the specification and any other documents referred to herein.
 - All dimensions are given in millimetres unless otherwise stated.
 - The drawing shall be read in conjunction with the specification and any other documents referred to herein.

AREA SCHEDULE

NB: Floor Areas Exclude Garage Floor Areas

Type	Ground Floor	First Floor	Total	Bed	Bath	Total
Type A	120.00m ²	120.00m ²	240.00m ²	4	1	5
Type B	120.00m ²	120.00m ²	240.00m ²	3	1	4
Type C	120.00m ²	120.00m ²	240.00m ²	2	1	3
Type D	120.00m ²	120.00m ²	240.00m ²	2	1	3
Type E	120.00m ²	120.00m ²	240.00m ²	1	1	2
Type F & F1	120.00m ²	120.00m ²	240.00m ²	2	4	6
Type G, G1, G1 & G11	120.00m ²	120.00m ²	240.00m ²	3	1	4
Type H	120.00m ²	120.00m ²	240.00m ²	2	1	3

SITE KEY

- Existing residential housing
- Existing area of low level site
- Existing area of medium level site
- Existing proposed separate development with existing residential with existing residential
- Existing proposed separate development with existing residential with existing residential
- Phase 1
- Phase 2
- Phase 3
- Phase 4

Partitions

- Field Access noted, LAP retained
- Streets noted and utilised/aligned

FOR COMMENT



SWANN EDWARDS ARCHITECTURE

on Site	18/01/2023	18/01/2023
Proposed Development	October 2019	18/01/2023
Back Street	2019	18/01/2023
Planning Drawing	18/01/2023	18/01/2023
Site Plan	18/01/2023	18/01/2023

7



General Notes

- The drawings shall not be scaled. Squared dimensions only to be used.
- The contractor shall ensure that all construction is in accordance with the approved plans.
- The contractor shall ensure that all construction is in accordance with the approved plans.
- The drawings are to be read in conjunction with all relevant regulations and standards and contractors shall ensure compliance with all relevant regulations and standards.
- The drawings are to be read in conjunction with all relevant regulations and standards.

- SITE KEY**
- Indicates Affordable Housing
 - Indicates proposed trees
 - Indicates proposed street trees
 - Indicates proposed hedge
 - Indicates existing trees
 - Indicates proposed grass
 - Indicates proposed paths and paths
 - Indicates proposed permeable driveway
 - Indicates 1.8m fire resistant timber shed
 - Indicates existing buildings from Ordnance Survey plan
 - Indicates Max. 1.8m high brick wall
 - Indicates 1.8m high stone kerbed fence with gates, raised otherwise
 - Faded indicates existing kerbside generally 0.3m high to be removed or walls along its length to be replaced with kerbside as per engineer design. See supporting photographs and/or inspection.

FOR APPROVAL

SWANN EDWARDS ARCHITECTURE

SWANN EDWARDS ARCHITECTURE
100-102, The Quadrant, Colchester, Essex, CO1 1JL
01206 310100 | www.swannedwards.co.uk

Prepared By	SW	Drawn By	SW
Checked By	SW	Checked By	SW
Date	May 2024	Date	May 2024
Project No.	23-1193	Client Ref.	23-1193
Site No.	PP 100-1	Version	G

Proposed Residential Development
Planning Drawing
Site and Location Plan



Front Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



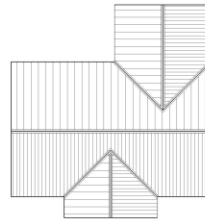
Rear Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



Floor Plan
Scale: 1:100



Roof Plan
Scale: 1:100

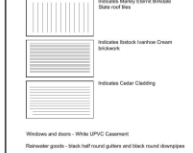
General Notes
1. The drawings shall not be scaled. Squared dimensions only to be used.
2. The drawings shall refer to their dimensioned notes.
3. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
4. This drawing is to be used in conjunction with all relevant engineering and specialist sub-contractors drawings and specifications.
5. Any discrepancies are to be brought to the designers attention.

AREA SCHEDULE

NB: Floor Areas Exclude Garage Floor Areas

Type A:	4 Bed 8 Person
Ground Floor	= 133.8m ²
First Floor	= 226.3m ²
Total	= 360.1m ²
Type B:	4 Bed 7 Person
Ground Floor	= 73.4m ²
First Floor	= 73.8m ²
Total	= 147.2m ²
Type C:	3 Bed 5 Person
Ground Floor	= 79.3m ²
First Floor	= 87.4m ²
Total	= 166.7m ²
Type D:	3 Bed 5 Person
Ground Floor	= 68.2m ²
First Floor	= 68.2m ²
Total	= 136.4m ²
Type E:	3 Bed 5 Person
Ground Floor	= 137.8m ²
First Floor	= 137.8m ²
Total	= 275.6m ²
Type F & FT:	2 Bed 4 Person
Ground Floor	= 45.8m ²
First Floor	= 45.8m ²
Total	= 91.6m ²
Type G, G1, G1 & G1:	3 Bed 5 Person
Ground Floor	= 61.3m ²
First Floor	= 61.3m ²
Total	= 122.6m ²
Type H:	2 Bed 3 Person
Ground Floor	= 73.8m ²
First Floor	= 73.8m ²
Total	= 147.6m ²
Type H1:	3 Bed 5 Person
Ground Floor	= 65.3m ²
First Floor	= 65.3m ²
Total	= 130.6m ²

ELEVATION KEY



FOR APPROVAL



ARCHITECTURE
Barnes, London, W14 9NS, United Kingdom
Black Stars, Park Road, Clugston, Walsby, Lincoln, LN11 3AA
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23/01763	Issue	Drawn by
Proposed Development	May 2024	07
Back Street, Guyton		20
Drawing Title	App No.	Drawn Date
Sketch Scheme	23-1763	21
House Type H1		
Elevations and Plans	23/113	

House Type A



Front Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



Rear Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



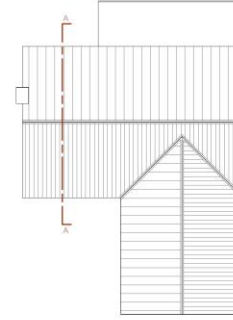
Section A-A
Scale: 1:100



Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100



Roof Plan
Scale: 1:100

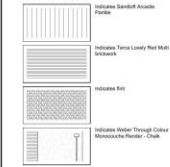
General Notes
1. The drawings shall not be used. Signed dimensions only to be used.
2. The dimensions shall be taken as shown unless otherwise stated.
3. The dimensions shall be taken as shown unless otherwise stated.
4. The drawings shall be taken as shown unless otherwise stated.
5. The drawings shall be taken as shown unless otherwise stated.
6. The drawings shall be taken as shown unless otherwise stated.

AREA SCHEDULE

Net Floor Areas Exclude Garage Floor Areas

Type A	4 Bed / 10 Person
Ground Floor	= 152.8sqm
First Floor	= 225.2sqm
Total	= 378.0sqm
Type B	4 Bed / 7 Person
Ground Floor	= 78.5sqm
First Floor	= 78.5sqm
Total	= 157.0sqm
Type C	3 Bed / 5 Person
Ground Floor	= 79.3sqm
First Floor	= 127.4sqm
Total	= 206.7sqm
Type D	3 Bed / 5 Person
Ground Floor	= 68.0sqm
First Floor	= 68.0sqm
Total	= 136.0sqm
Type E	3 Bed / 5 Person
Ground Floor	= 137.8sqm
Total	= 137.8sqm
Type F & FI	2 Bed / 4 Person
Ground Floor	= 45.0sqm
First Floor	= 45.0sqm
Total	= 90.0sqm
Type G, GI, GII & GIII	3 Bed / 5 Person
Ground Floor	= 91.3sqm
First Floor	= 111.3sqm
Total	= 202.6sqm
Type H	2 Bed / 3 Person
Ground Floor	= 75.8sqm
Total	= 75.8sqm

ELEVATION KEY



Windows and doors - Grey/Stone (SPVC) Casement
Rearscreen doors - Black Half round gutters and black round downpipes

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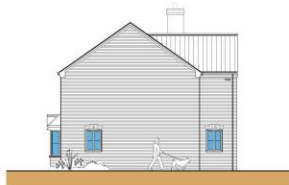
SWANN EDWARDS ARCHITECTURE

Swann Edwards Architects, 10000, Suite 1000, 10000, Black Star, The Road, Guyana, Guyana, Guyana, GE13 6AA
A company limited by guarantee registered in England and Wales

Prepared	June 2022	Drawn by	GE
Checked by	GE	Scale	A1
Project No.	23-1763	Sheet	01
Revision	01	Date	23/10/21



Front Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



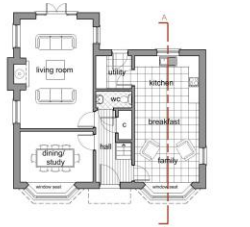
Rear Elevation
Scale: 1:100



Front Elevation
Scale: 1:100



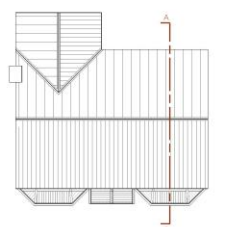
Section A-A
Scale: 1:100



Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100



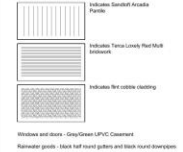
Roof Plan
Scale: 1:100

General Notes
1. The drawings shall not be used, signed dimensions only to be used.
2. The contractor shall ensure that all construction complies with the relevant building regulations.
3. The contractor shall ensure that all construction complies with the relevant building regulations.
4. The drawings are to be read in conjunction with all relevant regulations and standards.
5. The drawings are to be read in conjunction with all relevant regulations and standards.
6. The drawings are to be read in conjunction with all relevant regulations and standards.

AREA SCHEDULE

Typ	Floor Area Excludes Garage Floor Area	Person
Type A	4 Bed 18 Person	
Ground Floor	= 132.8m ²	
First Floor	= 25.3m ²	
Total	= 158.1m ²	
Type B	4 Bed 7 Person	
Ground Floor	= 75.1m ²	
First Floor	= 75.6m ²	
Total	= 150.7m ²	
Type C	3 Bed 5 Person	
Ground Floor	= 79.3m ²	
First Floor	= 12.4m ²	
Total	= 136.7m ²	
Type D	3 Bed 5 Person	
Ground Floor	= 65.2m ²	
First Floor	= 65.2m ²	
Total	= 65.2m ²	
Type E	3 Bed 5 Person	
Ground Floor	= 137.5m ²	
Total	= 137.5m ²	
Type F & FI	2 Bed 4 Person	
Ground Floor	= 45.1m ²	
First Floor	= 45.1m ²	
Total	= 45.1m ²	
Type G, GI, GI & GI:	3 Bed 5 Person	
Ground Floor	= 51.3m ²	
First Floor	= 11.3m ²	
Total	= 132.8m ²	
Type H	2 Bed 3 Person	
Ground Floor	= 75.8m ²	
Total	= 75.8m ²	

ELEVATION KEY



Windows set over - One Glass UPVC Casement
Kitchen goods - Mark half round pipes and black round drainage

FOR APPROVAL



ARCHITECTURE

Prepared: Development Back Street, Gwyn	Date: June 2022	Drawn by: GE
Checked by: GE	Drawn by: GE	Checked by: GE
Drawn by: GE	Checked by: GE	Checked by: GE



Front Elevation

Scale: 1:100



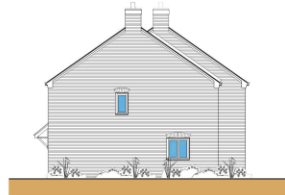
Side Elevation

Scale: 1:100



Rear Elevation

Scale: 1:100



Side Elevation

Scale: 1:100



Section A-A

Scale: 1:100



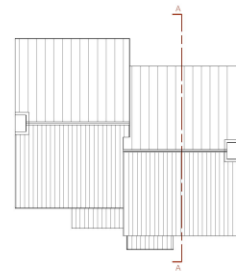
Ground Floor Plan

Scale: 1:100



First Floor Plan

Scale: 1:100



First Floor Plan

Scale: 1:100

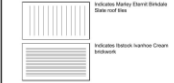
General Notes
 1. The drawings shall not be scaled. Figure dimensions only to be used.
 2. The drawings shall refer to their correct dimensioned notes.
 3. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
 4. The drawing is to be read in conjunction with all relevant engineering and specialist sub-contractor drawings and specifications.
 5. No dimensions shall be taken to the boundary alignment.

AREA SCHEDULE

Net Floor Areas Exclude Garage Floor Areas

Type A	4 Bed / 8 Person
Ground Floor	= 132.8sqm
First Floor	= 228.3sqm
Total	= 361.1sqm
Type B	4 Bed / 7 Person
Ground Floor	= 79.1sqm
First Floor	= 79.9sqm
Total	= 159.0sqm
Type C	3 Bed / 5 Person
Ground Floor	= 79.3sqm
First Floor	= 12.4sqm
Total	= 136.7sqm
Type D	3 Bed / 5 Person
Ground Floor	= 68.0sqm
First Floor	= 68.0sqm
Total	= 68.0sqm
Type E	3 Bed / 5 Person
Ground Floor	= 137.8sqm
Total	= 137.8sqm
Type F & Ft	2 Bed / 4 Person
Ground Floor	= 45.0sqm
First Floor	= 45.0sqm
Total	= 45.0sqm
Type G, Gt, Gt & Gt:	3 Bed / 5 Person
Ground Floor	= 81.3sqm
First Floor	= 12.1sqm
Total	= 132.8sqm
Type H	2 Bed / 3 Person
Ground Floor	= 75.8sqm
Total	= 75.8sqm

ELEVATION KEY



FOR APPROVAL

SWANN EDWARDS ARCHITECTURE

Swann Edwards Architecture, 10000, Suite 10000, 10000, Black Barn, The Road, Guyton, West Norfolk, Norfolk, NE13 6AA. A limited liability company registered in England and Wales. No. 10199999

Prepared: June 2022	Drawn by: JB
Checked by: GE	
Project No: 23-1158	Sheet No: A1
Drawing Title: House Type D Elevations and Plans	Scale: 1:100

House Type F1

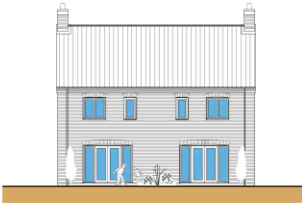
15



Front Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



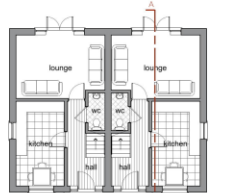
Rear Elevation
Scale: 1:100



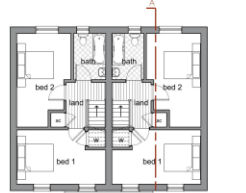
Side Elevation
Scale: 1:100



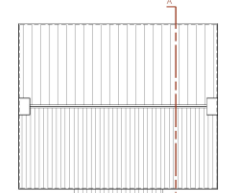
Section A-A
Scale: 1:100



Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100



Roof Plan
Scale: 1:100

General Notes
1. No drawings shall be scaled. Stated dimensions only to be used.
2. The drawings shall remain in their original format.
3. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
4. This drawing is to be used in conjunction with all relevant regulations and standard sub-contractor drawings and specifications.
5. Any dimensions not to be shown to be subject to the designer's alteration.

AREA SCHEDULE

1st Fl. Floor Areas Exclude Garage Floor Areas

Type A	4 Bed / 8 Persons
Ground Floor	= 152.8sqm
First Floor	= 228.2sqm
Total	= 381.0sqm
Type B	4 Bed / 7 Persons
Ground Floor	= 78.1sqm
First Floor	= 75.8sqm
Total	= 153.9sqm
Type C	3 Bed / 5 Persons
Ground Floor	= 79.3sqm
First Floor	= 117.4sqm
Total	= 196.7sqm
Type D	3 Bed / 5 Persons
Ground Floor	= 68.0sqm
First Floor	= 68.0sqm
Total	= 136.0sqm
Type E	3 Bed / 5 Persons
Ground Floor	= 117.8sqm
First Floor	= 13.2sqm
Total	= 131.0sqm
Type F & FT	2 Bed / 4 Persons
Ground Floor	= 45.0sqm
First Floor	= 45.0sqm
Total	= 90.0sqm
Type G, GT, GB & GT1:	3 Bed / 5 Persons
Ground Floor	= 51.3sqm
First Floor	= 51.3sqm
Total	= 102.6sqm
Type H	2 Bed / 3 Persons
Ground Floor	= 75.8sqm
Total	= 75.8sqm

ELEVATION KEY

Indicate Masonry Element Structure
with hatching

Indicate Masonry In-situ Core
with hatching

Windows and doors - Grey UPVC Casement

Roofwater gables - Shale half round gutters and black round downpipes

FOR APPROVAL

SWANN EDWARDS ARCHITECTURE

Swann Edwards Architecture Limited, Suite 10, 100, Colchester Road, Black Stars Park Road, Guyton, West Norfolk, Norfolk, PE33 9AA
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Prepared: 2022	Drawn by: GE
Checked by: GE	Scale: A1
Project No: 23/01763/FM	Revision: 1

House Type Ft



Front Elevation Scale: 1:100



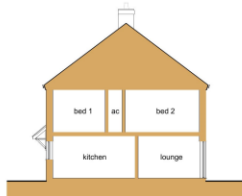
Side Elevation Scale: 1:100



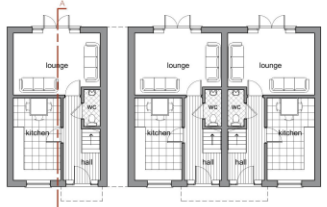
Rear Elevation Scale: 1:100



Side Elevation Scale: 1:100



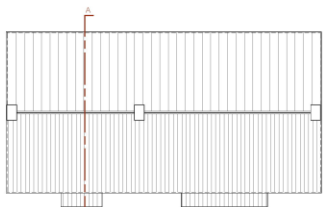
Section A-A Scale: 1:100



Ground Floor Plan Scale: 1:100



First Floor Plan Scale: 1:100



Roof Plan Scale: 1:100

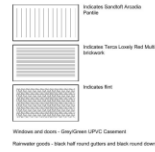
General Notes
1. This drawing shall not be used, signed dimensions only to be used
2. All dimensions are given in millimetres unless stated
3. The contractor shall coordinate and complete their work with all
other work on the site and be responsible for the coordination of any work
and obtain any necessary permits and authorisations
4. Any dimensions are to be shown on the drawings unless stated

AREA SCHEDULE

NB: Floor Areas Exclude Garage Floor Areas

Type A	4 Bed / 8 Person
Ground Floor	= 103.8sqm
First Floor	= 124.3sqm
Total	= 228.1sqm
Type B	4 Bed / 7 Person
Ground Floor	= 78.1sqm
First Floor	= 124.3sqm
Total	= 202.4sqm
Type C	3 Bed / 6 Person
Ground Floor	= 78.1sqm
First Floor	= 87.4sqm
Total	= 165.5sqm
Type D	3 Bed / 5 Person
Ground Floor	= 48.2sqm
First Floor	= 88.0sqm
Total	= 136.2sqm
Type E	3 Bed / 5 Person
Ground Floor	= 137.8sqm
Total	= 137.8sqm
Type F & Ft	2 Bed / 4 Person
Ground Floor	= 40.5sqm
First Floor	= 40.5sqm
Total	= 81.0sqm
Type G, G1, G1 & G1:	3 Bed / 5 Person
Ground Floor	= 81.0sqm
First Floor	= 81.0sqm
Total	= 162.0sqm
Type H	2 Bed / 3 Person
Ground Floor	= 78.1sqm
Total	= 78.1sqm

ELEVATION KEY



FOR APPROVAL



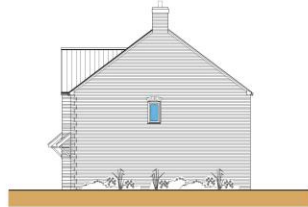
ARCHITECTURE
Swann Edwards Architecture Limited, Swan Edwards Architecture,
Buck Street, New Street, Glaston, Somerset, Glaston, BA15 2JG
T: 01454 403244 E: info@swannedwards.co.uk W: www.swannedwards.co.uk

Site No	23/01763	Drawn by	GE
Proposed Development	Back Street, Glaston	Checked by	GE
Planning Drawing	House Type Ft	Drawn Date	15/06/2022
Elevations and Plans	PR1110	Drawn No	AT
		Checked	B

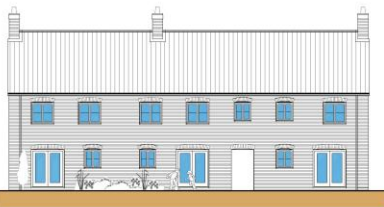
House Type Gt



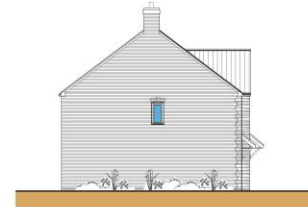
Front Elevation
Scale: 1:100



Side Elevation
Scale: 1:100



Rear Elevation
Scale: 1:100



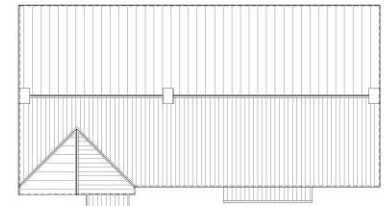
Side Elevation
Scale: 1:100



Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100



Roof Plan
Scale: 1:100

General Notes
1. No drawing shall be used, figured dimensions only to be used.
2. The contractor shall verify in their tender documents that the dimensions, call-outs and positions match exactly all dimensions of the area to be constructed or the work.
3. This drawing is to be used in conjunction with all relevant regulations and standard sub-contractor drawings and specifications.
4. No dimensions are to be changed to the designers' discretion.

AREA SCHEDULE

Net Floor Areas Exclude Garage Floor Areas

Type A	4 Bed / 8 Person
Ground Floor	= 152.0sqm
First Floor	= 22.0sqm
Total	= 228.0sqm
Type B	4 Bed / 7 Person
Ground Floor	= 78.0sqm
First Floor	= 78.0sqm
Total	= 156.0sqm
Type C	3 Bed / 5 Person
Ground Floor	= 79.0sqm
First Floor	= 57.0sqm
Total	= 136.0sqm
Type D	3 Bed / 5 Person
Ground Floor	= 65.0sqm
First Floor	= 65.0sqm
Total	= 130.0sqm
Type E	3 Bed / 5 Person
Ground Floor	= 117.0sqm
Total	= 117.0sqm
Type F & Ft	2 Bed / 4 Person
Ground Floor	= 65.0sqm
First Floor	= 65.0sqm
Total	= 130.0sqm
Type G, G1, G2 & G3	3 Bed / 5 Person
Ground Floor	= 51.0sqm
First Floor	= 51.0sqm
Total	= 102.0sqm
Type H	2 Bed / 3 Person
Ground Floor	= 75.0sqm
Total	= 75.0sqm

ELEVATION KEY

- Indicates Sandblast Anodised Panels
- Indicates Terrace Laid on Level Hard Core
- Indicates Brick

Windows and doors - Clad Glass UPVC Casement
Rainwater goods - Black half round gutters and black round downpipes

Revisions

A	Minor	Passageway added

FOR APPROVAL

SWANN EDWARDS ARCHITECTURE

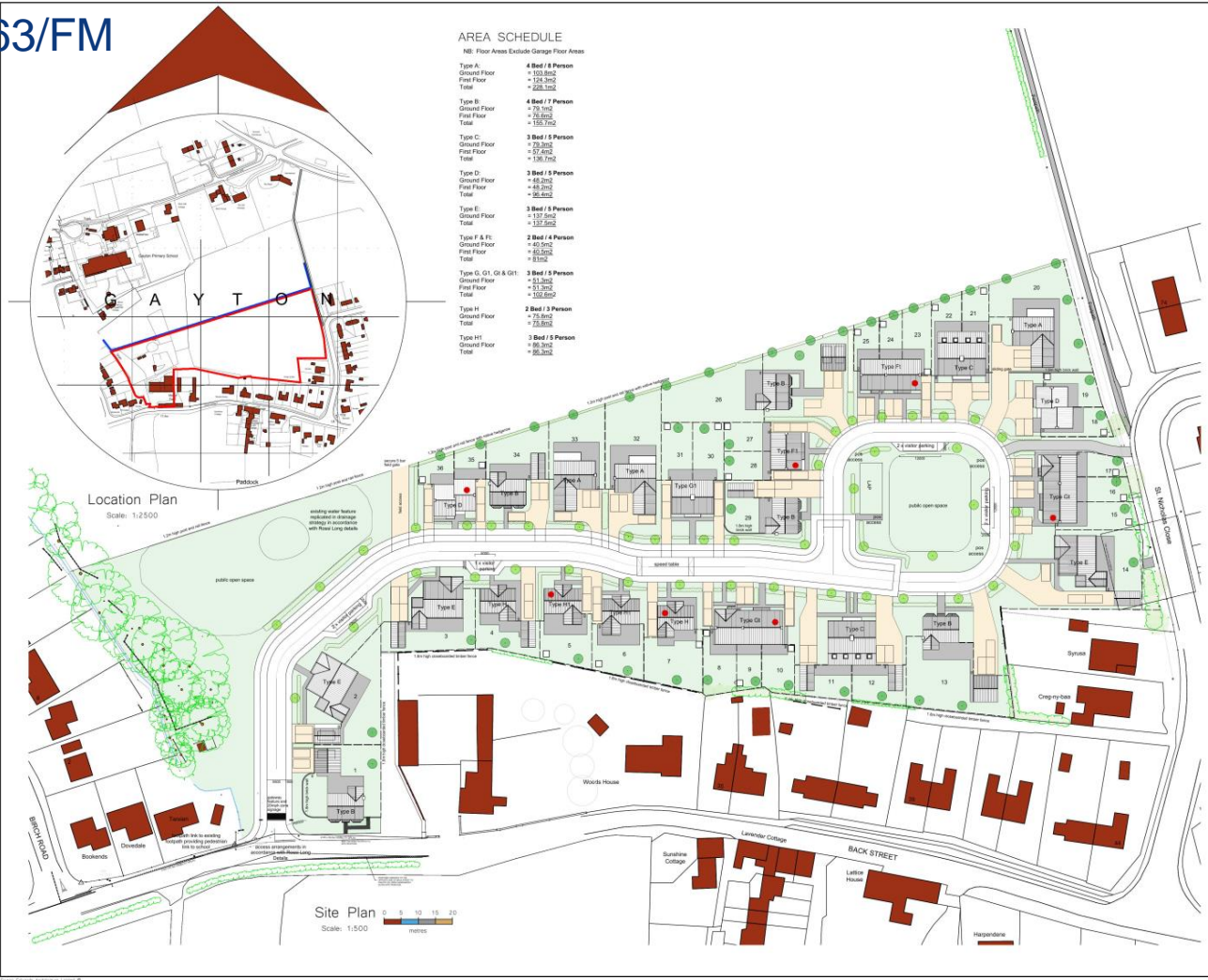
Small: Shading Annotations, Lines: Scale: Elements Annotations, Block: Bars For Plot, Clipping: Watermark, Contact: #01753 5544
© 2017 SWANN EDWARDS ARCHITECTURE LTD OR WWW.SWANNEDWARDS.CO.UK

Proposed Development: Back Street, Gt Lynn

Date: June 2022	Drawn by: JG
Checked by: GE	

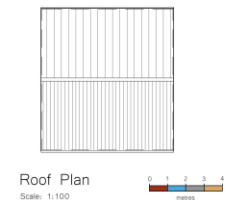
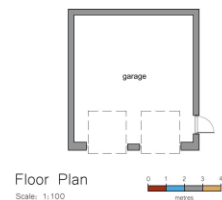
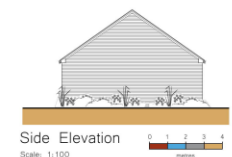
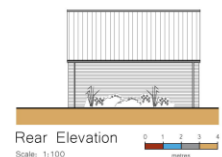
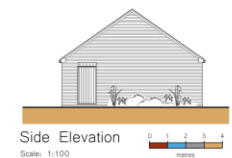
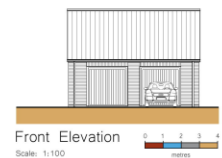
Drawing Title: Planning Drawing House Type Gt Elevations and Plans	Rev No: 001-1763	Drawn by: AJL
Rev No: 001-1763	Checked by: JG	

19



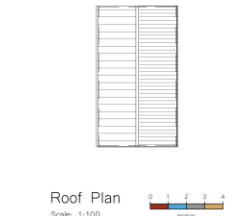
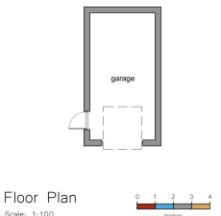
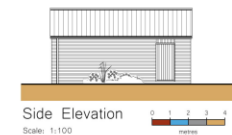
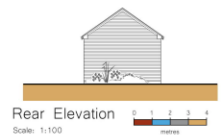
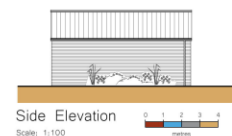
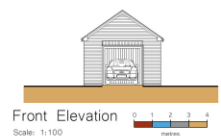
Double Garage

Materials to match house associated with



Single Garage

Materials to match house associated with



General Notes

1. The drawings shall not be scaled, figured dimensions only to be used.
2. All dimensions are shown in their correct dimension unless stated.
3. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
4. The drawing is to be read in conjunction with all relevant engineering and specialist sub-contractors drawings and specifications.
5. Any discrepancies are to be brought to the Designer's attention.

20

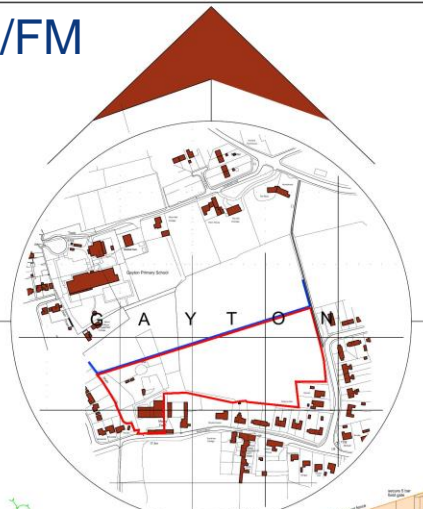
FOR COMMENT



Swann Edwards Architecture Limited, Swann Edwards Architects, Black Swan, The Road, Gayton, Westcott, Norfolk, NR13 6JH. A limited liability company registered in England and Wales.

AP-106	Proposed Development	Back Street, Gayton	Issue	June 2022	Drawn by	JR	Checked by	GE
00-1158	Planning Drawing	Garage Types	Drawn by	00-1158	Issue	All	Checked by	None
20-1103	Elevations and Plans		Scale	1:100	Revision			

21



AREA SCHEDULE

NB: Floor Areas Exclude Garage Floor Areas

Type A	4 Bed / 8 Person
Ground Floor	= 100.0m ²
First Floor	= 224.3m ²
Total	= 324.3m ²
Type B	4 Bed / 7 Person
Ground Floor	= 79.1m ²
First Floor	= 75.0m ²
Total	= 154.1m ²
Type C	3 Bed / 6 Person
Ground Floor	= 79.1m ²
First Floor	= 57.1m ²
Total	= 136.2m ²
Type D	3 Bed / 5 Person
Ground Floor	= 68.3m ²
First Floor	= 68.2m ²
Total	= 136.5m ²
Type E	3 Bed / 5 Person
Ground Floor	= 137.8m ²
Total	= 137.8m ²
Type F & F1	3 Bed / 4 Person
Ground Floor	= 60.0m ²
First Floor	= 60.0m ²
Total	= 120.0m ²
Type G, G1, G1 & G11	3 Bed / 5 Person
Ground Floor	= 61.2m ²
First Floor	= 61.3m ²
Total	= 122.5m ²
Type H	2 Bed / 3 Person
Ground Floor	= 75.9m ²
Total	= 75.9m ²
Type H1	3 Bed / 5 Person
Ground Floor	= 88.3m ²
Total	= 88.3m ²



General Notes
1. No dimensions shall be stated. Squared dimensions only to be used.
2. All dimensions are given in feet, unless otherwise stated.
3. The contractor, sub-contractors and suppliers must verify all measurements on the site to be the responsibility of the contractor.
4. This drawing is to be read in conjunction with all relevant regulations and detailed specifications covering any developments.
5. The dimensions are to be brought to the designer's attention.



FOR APPROVAL



Proposed Residential Development	Black Green CAYTON	Rev: 2024	Drawn by: GE
Planning Drawing	Site Plan	Rev: 01	Drawn by: GE





View southwest from east of site

24



View southwest from east of site



View west from east of site



View northwest from east of site



View northwest from east of site



View northwards along PROW from east of site



View northeast from east of site

30



View southeast from east of site

31



View east along Back Street from opposite site entrance



32



View northeast along Back Street from opposite site entrance



View north from Back Street of site entrance

34



View north from Back Street of site entrance

35



View northwest from Back Street

36



View west from Back Street



24/00280/RM

37





38





PROPOSED SITE PLAN (Scale 1:200 when printed at A1)

KEY TO BLOCK PLAN:

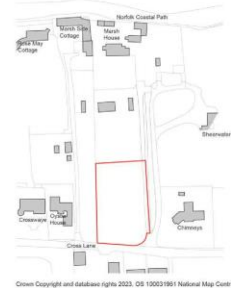
- Proposed Dwelling
- Proposed Parking / Turning Area
- Proposed Access
- Proposed Lawn Area
- Proposed Rear Patio
- Proposed Pool Area
- Proposed Planter
- Proposed roadside bank with existing hedge to be retained, existing Hedge over front wall to be out back to improve vision splay following response from Highways Officer during the outline stage.)
- Existing access
Proposed vision splay 57.0m x 2.4m x 25.0m
Proposed retained vision splay 70.0m x 2.0m x 30.4m
Both vision splays measured to the corner of single track road.
- Pool building set behind garden wall.

General site levels to remain as existing. Proposed levels shown on plan.

- Existing trees to be retained.
- Proposed hedge planting. To use native hedge planting suggest within "Ecology Report including Supporting Evidence for Appropriate Assessment"
- Existing hedge planting.
- Proposed parking/turning area and patio area.
- Proposed mown lawn areas.
- Proposed green roofs and areas of planting.
- RPA (Root protection area) refer to tree report.

0 2 4 6 8 10 12 14 16 18 20m
SCALE BAR PRINTED PAPER SIZE A1

N
W
E
S



Atelier Associates
Architecture + design

MR + MISS COGHELL

GROSS LANE HOUSE

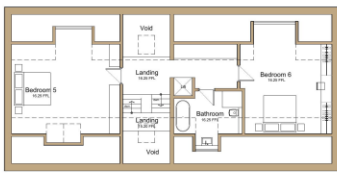
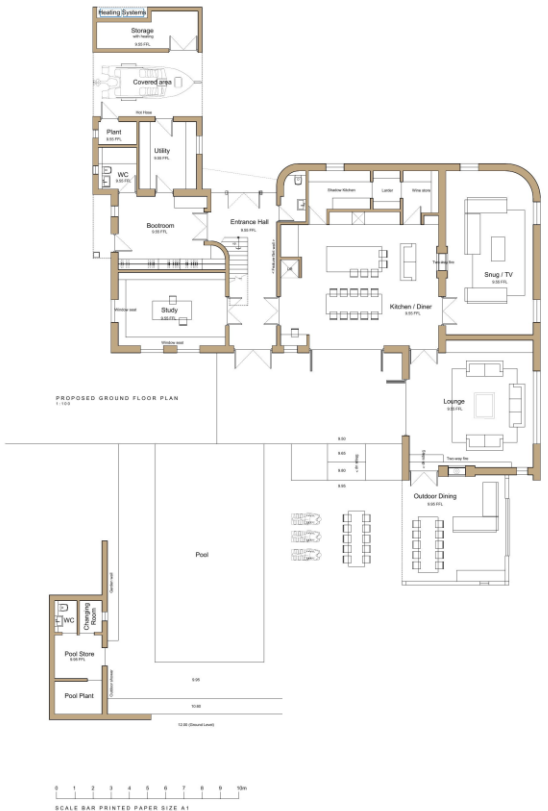
PROPOSED SITE PLAN AND LOCATION PLAN

3/2023 2/23 PLANNING 1/18

COGO.01.01.05 C

Burn & Sons Farm Conversion Road, Southwold, Norfolk NR25 7PG
T: 01493 252725 E: info@atelierassociates.co.uk

41



DISCLAIMER:
The design and construction of this project is the responsibility of the Designer and not the Client. The Client is advised to seek professional advice from a qualified architect, structural engineer, and other relevant professionals before proceeding with the project. The Designer is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings.

CONTRACT:
The drawings are prepared in accordance with the contract between the Designer and the Client. The Client is advised to read the contract carefully before signing it.

NOTES:
1. The drawings are prepared in accordance with the contract between the Designer and the Client. The Client is advised to read the contract carefully before signing it.

DRAWING PURPOSES:
The drawings are prepared for the purpose of obtaining planning permission and for use as a guide for the construction of the project. They are not to be used for any other purpose without the written consent of the Designer.

REVISIONS:
The drawings are subject to change without notice. The Designer is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings.

SCALE:
1:100

DATE:
10/10/2024

Atelier Associates
Architecture + design

MR + MRS COGHELL

CROSS LANE HOUSE

PROPOSED FLOORPLANS

DATE: 10/10/2024 | SCALE: 1:100 | DRAWING: PLANNING

COGO 1.01.02

Plot: 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100



42



43



44



View west from Cross Lane

45



View southwest from Cross Lane

46



View south from Cross Lane

47



View south from Cross Lane

48



View southeast from Cross Lane



50



View northeast from within site

51



View north from within site

52



View northwest from within site

53



View west from within site

54



View southwest from within site

55



View south from within site

56



View southeast from within site

57



Existing view west of site from Cross Lane

58



Proposed view west from Cross Lane

59



Existing view east of site from Cross Lane

60



Proposed view east from Cross Lane

61



Existing aerial view from south of site

62



Proposed aerial view from south of site

63



Existing aerial view from west of site

64



Proposed aerial view from west of site

65



Existing aerial view from north of site

65



Proposed aerial view from north of site

67



Existing aerial view





Proposed aerial view



24/00504/F

69



70



Superseded Plan

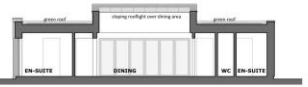


SOUTH ELEVATIONS SCALE 1:100

EAST

NORTH

WEST



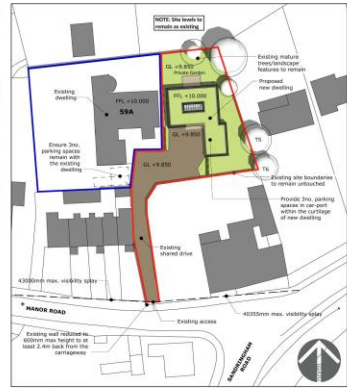
SECTION THROUGH LIGHTWELL SCALE 1:100



LOCATION PLAN SCALE 1:1250



AERIAL PERSPECTIVE 1 SCALE NTS

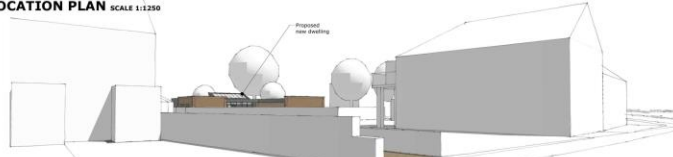


SITE/ROOF PLAN SCALE 1:500



GROUND FLOOR PLAN SCALE 1:100
GIFA 130sqm plus car-port

- Proposed Materials:**
- Walls: brick/camstone public walls, vertical black-stained timber boarding
 - Roof: green flat roof, standing-seam metal enclosure to sloping glazed rooflight
 - Rainwater Goods: Grey/black
 - Joinery: Grey/black coloured



STREET SCENE/EYE LEVEL SCALE NTS



AERIAL PERSPECTIVE 2 SCALE NTS



PERSPECTIVE 3 SCALE NTS

Rev: Brick added
new brick/camstone with solid

Revision Details:

PROJECT:
Proposed New Dwelling
59A Manor Road
Dersingham
Norfolk
PE31 6LH

CLIENT:
Bespoke Norfolk Group

TITLE:
As Proposed

DATE:
14-06-24

VOID ARCHITECTURE
Heath Barn, Norwich Road, Fakenham
Norfolk, NR21 2LZ
tel: 01328 801536
email: info@voidarchitecture.co.uk
web: www.voidarchitecture.co.uk

DRAWING 1086.04 REV: B SIZE: A1

72



VOID ARCHITECTURE 2024

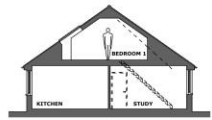


SOUTH ELEVATIONS SCALE 1:100

EAST

NORTH

WEST



TYPICAL SECTION SCALE 1:100



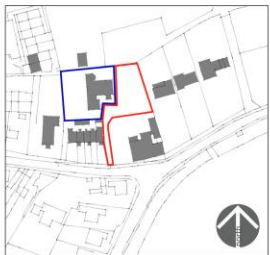
FIRST FLOOR PLAN SCALE 1:100



GROUND FLOOR PLAN SCALE 1:100

total GIFA 130sqm

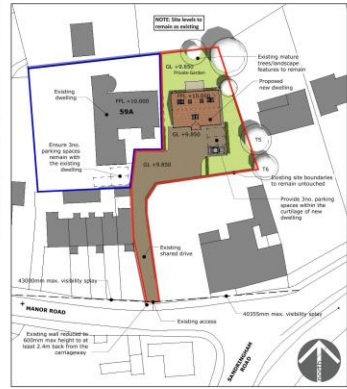
- Proposed Materials:**
- Walls: Norfolk red brick with carronstone panels
 - Roof: red/orange interlocking clay pan/tiles, black metal flue pipe
 - Rainwater Goods: Black UPVC
 - Joinery: Grey coloured



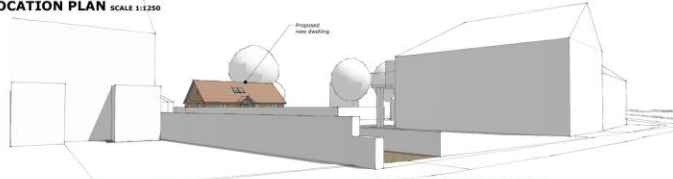
LOCATION PLAN SCALE 1:1250



AERIAL PERSPECTIVE 1 SCALE NTS



SITE/ROOF PLAN SCALE 1:500



STREET SCENE/EYE LEVEL SCALE NTS



AERIAL PERSPECTIVE 2 SCALE NTS



DRIVEWAY APPROACH SCALE NTS

Revision Details:

PROJECT:
Proposed New Dwelling
59A Manor Road
Dersingham
Norfolk
PE31 6LH

CLIENT:
Bespoke Norfolk Group

TITLE:
Plans as Proposed

DATE:
17-01-24

VOID Architecture
Heath Barn, Norwich Road, Fakenham
Norfolk, NR21 8LZ

tel: 01328 801536
email: info@voidarchitecture.co.uk
web: www.voidarchitecture.co.uk

DRAWING 1086.05 REV. - SIZE A1

73

74



View northwards towards site from access

16/04/2024

75



View westwards from site access

16/04/2024

76



View eastwards from site access

16/04/2024

77



16/04/2024

View southwards from driveway to access onto Manor Road



78



79



View eastwards from car park towards Neighbour No.61a

16/04/2024

80



16/04/2024

81



Northern elevations of the Tea Rooms / flat and No.61a



82



16/04/2024



83



16/04/2024



16/04/2024

Southwards within the site towards Tea Rooms and No.61a



85



85



16/04/2024





16/04/2024



88



68



16/04/2024



06



91



92



Western side of the site showing donor dwelling

16/04/2024

93



Rear of donor dwelling

16/04/2024

94



Eastern elevation of donor dwelling within driveway

16/04/2024



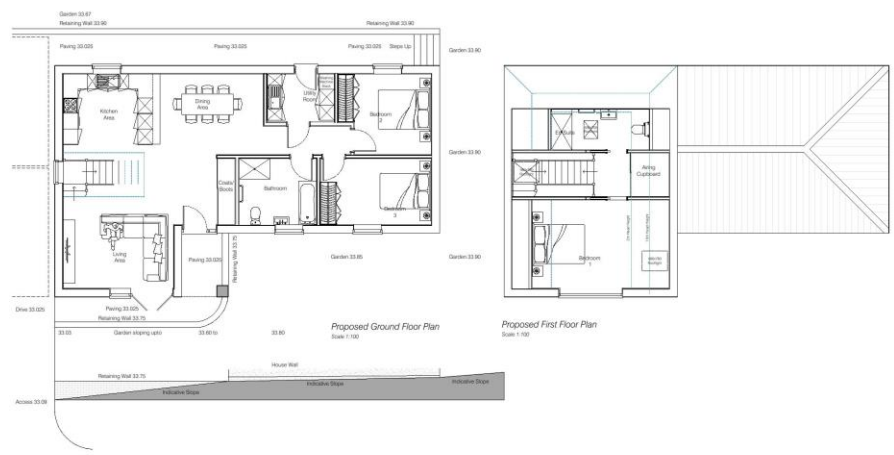
23/02276/F

96

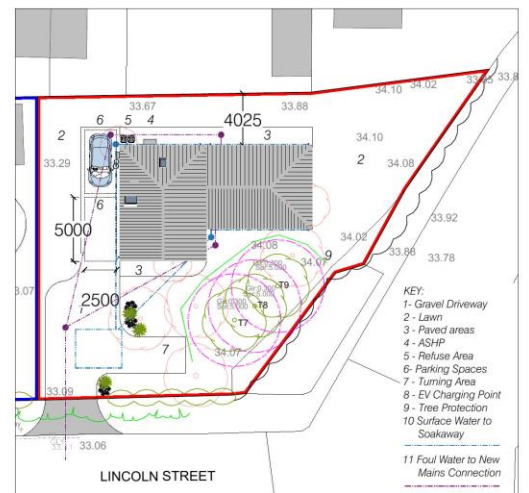




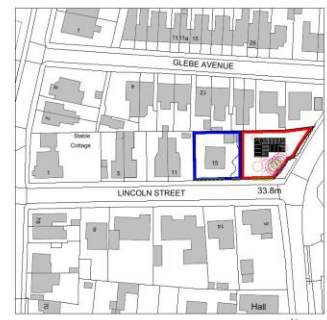
96



Rev.	Date	Description	Drawn
A	20/01/2024	Site Plan Updated to Suit Comments	EA
B	08/03/2024	Site Plan Updated to Suit Comments	EA
C	17/03/2024	Updated to Suit Comments	J
D	20/06/2024	Reduction in height and footprint	J
E	01/08/24	Reduction in height and paving	iss



Proposed Site Plan
Scale 1:200



Location Plan
Scale 1:1250



Unit 12, Crown Orchards, Thrimham Road,
Horse-and-the-Sea, Norfolk, PE36 6LS
Tel: 01263 738239 Web: www.strataarchitecture.com

Project:
Land to the East of Tower House
15 Lincoln Street
Hunstanton
PE36 6AS

Title:
Proposed New Dwelling
Proposed Floor Plans, Elevations
Section, Site and Location Plan

Scale(s): As Shown @A2 Date: 20/06/24

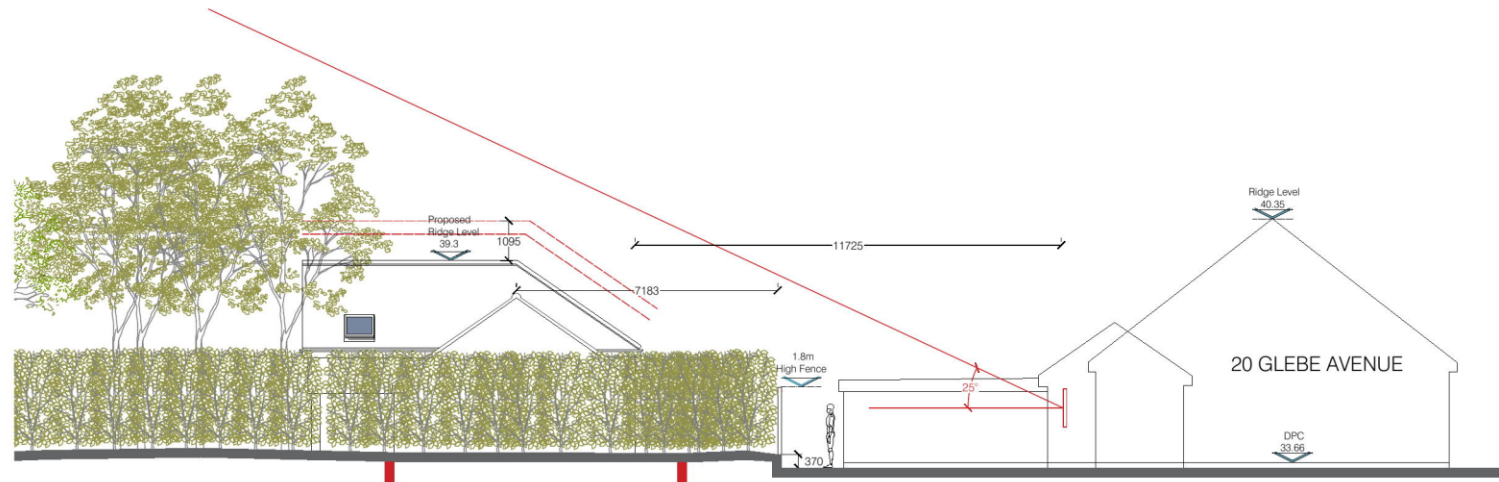
Drawn: J Checked: JL

Drawing issued for: Planning

Drawg No: 674-01 Rev: E

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97



Grey line is at boundary adjacent highway - 4025
 Red line is reduced ground on site with gradient between.

Proposed Street Scene (East) showing separation of No. 20 Glebe Avenue
 Scale 1:100 on A4 paper



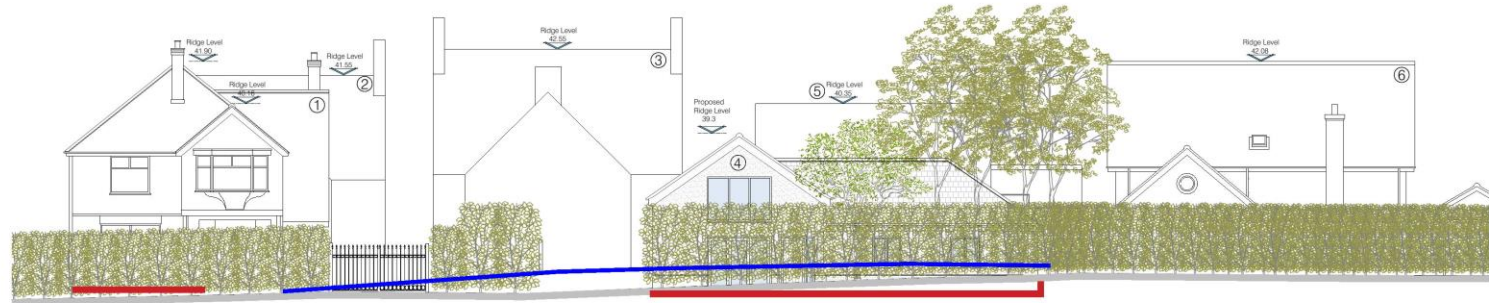
Unit 12, Drove Orchards, Thornham Road,
 Horningsea, Norfolk, PE36 6LS
 Tel: 01328 738239 Web: www.strataarchitecture.com

Project:
 Land to the East of Tower House
 15 Lincoln Street
 Hunstanton
 PE36 6AS

Title:
 Proposed New Dwelling
 Proposed Street Scene East

Details	
Scale(s):	1:100 @A3
Date:	14.08.24
Drawn:	j
Checked:	JL
Drawn issued for:	Planning
Draw No.	674-300
Rev:	B

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 All dimensions must be checked on site by the Contractor.



Proposed Street Scene (South)
Scale 1:100

KEY

- 1 - 15 Lincoln Street
- 2 - 14 Glebe Avenue
- 3 - 16 & 18 Glebe Avenue
- 4 - Proposed Dwelling
- 5 - 20 Glebe Avenue
- 6 - 22 Glebe Avenue
- - DPC Level
- - Section through site

96



Proposed Street Scene (East) showing separation of No. 20 Glebe Avenue
Scale 1:100

STRATA ARCHITECTS
 Ltd 12, Dover Drive, Thurston Road,
 Thurston, King's Lynn, Norfolk PE36 6JZ
 Tel: 01553 750200 Web: www.strataarchitects.com

Project:
 Land to the East of Tower House
 15 Lincoln Street
 Hunstanton
 PE36 6AS

For:
 Proposed New Dwelling
 Proposed Street Scene East & South

Scale: 1:100 @A2 Date:
 Drawn: EA Checked: JL
 Drawing issued for: Planning
 Orig No: 674-400 Rev: A
Copyright of this drawing is retained by Strata Architects and all dimensions must be checked on site by the Contractor.

66



Lincoln Street street scene looking north/east



100



View north of existing dwelling/access with application
side to the east



101



Lincoln Street street scene looking west

102



Southern and eastern boundary of site.

103



View south along A149 towards site.



104



Internal view of site looking east.

105



Internal view of site looking north/east.



106



Internal view of site looking north.

107



Internal view of site looking north/west.



108



Internal view of site looking west.





View south towards application site from neighbouring plot.



110



View south towards application site from neighbouring plot.



111



Aerial view from Google Maps for context.

24/00892/F

112





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 3. It is the responsibility of the recipient of this drawing to ensure it has been printed at the correct scale using the scale reference bar below.
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 5. Contractors and their sub-contractors are to check the entry of measurements and levels on site prior to manufacture and commencement of work.
 6. Only use figured dimensions.
 7. Any discrepancies to be brought to the Designers immediate attention.
 0 50mm
 SCALE REFERENCE - 50mm LINE

SITE PLAN/BLOCK PLAN

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

REV	DESCRIPTION	DATE

	6 Hawthorn Close Watlington King's Lynn Norfolk PE33 0HD Tel: 01553 811564 Email: mattgosling@aol.com
--	---

Project Title
**PROPOSED CONVERSION
 ROBERT ST/WILLIAM ST.
 KING'S LYNN
 NORFOLK**

Drawing Title
SITE PLAN/BLOCK PLAN

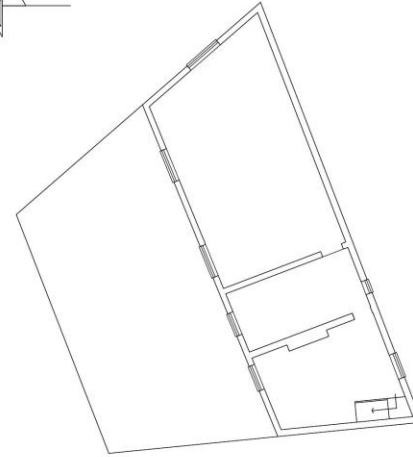
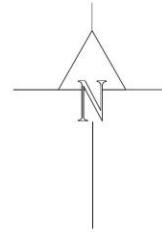
Scale	Date	Drawn
1:250	Apr 23	MG

Drawing No: **1042/22 - 14** Rev:

115



Ground Floor/Site Layout



First Floor Layout

1. The applicant shall provide a copy of the proposed design and details to the relevant authority for their consideration and approval.
 2. The applicant shall provide a copy of the proposed design and details to the relevant authority for their consideration and approval.
 3. The applicant shall provide a copy of the proposed design and details to the relevant authority for their consideration and approval.
 4. The applicant shall provide a copy of the proposed design and details to the relevant authority for their consideration and approval.
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 8. The applicant shall provide a copy of the proposed design and details to the relevant authority for their consideration and approval.
 9. The applicant shall provide a copy of the proposed design and details to the relevant authority for their consideration and approval.
 10. The applicant shall provide a copy of the proposed design and details to the relevant authority for their consideration and approval.

REV	DESCRIPTION	DATE

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 Waddington
 King's Lynn
 Norfolk
 PE33 9HD
 Tel: 01553 811564
 Email: mattgosing@aol.com

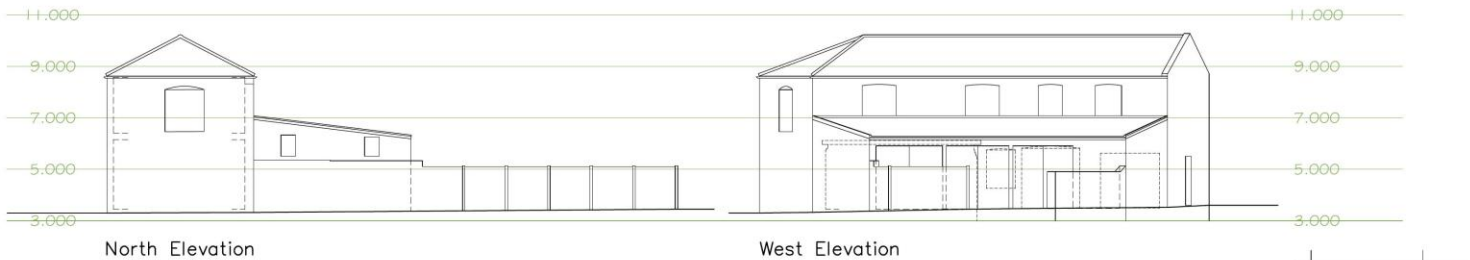
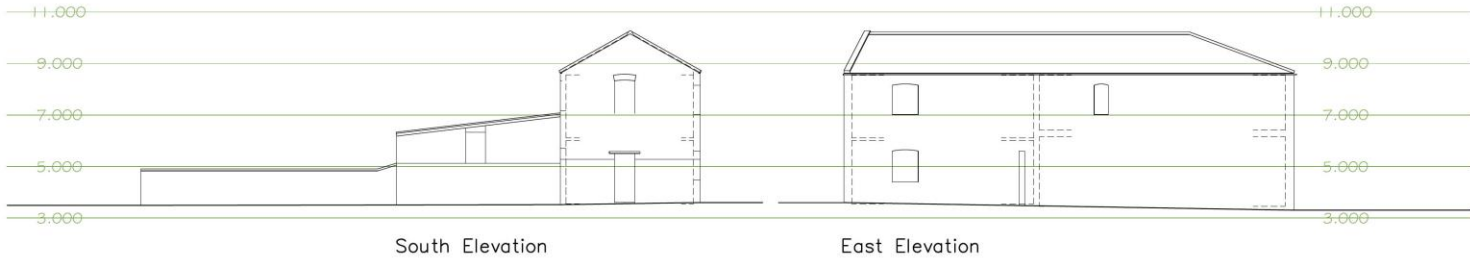
Project Title
**PROPOSED CONVERSION
 ROBERT ST WILLIAM STREET
 KING'S LYNN
 NORFOLK**

Drawing Title
EXISTING FLOOR PLANS

Scale	Date	Drawn
1:100	Apr 23	MG

Drawing No:	Rev:
1042/22 - 10	

1. The drawings are prepared in accordance with the Building Regulations and the Building Act 2003.
 2. The drawings are prepared in accordance with the Building Regulations and the Building Act 2003.
 3. The drawings are prepared in accordance with the Building Regulations and the Building Act 2003.
 4. The drawings are prepared in accordance with the Building Regulations and the Building Act 2003.
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 8. The drawings are prepared in accordance with the Building Regulations and the Building Act 2003.
 9. The drawings are prepared in accordance with the Building Regulations and the Building Act 2003.
 10. The drawings are prepared in accordance with the Building Regulations and the Building Act 2003.



116

REV	DESCRIPTION	DATE

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 Waddington
 King's Lynn
 Norfolk
 PE33 9HD
 Tel: 01553 811564
 Email: mattgosing@aol.com

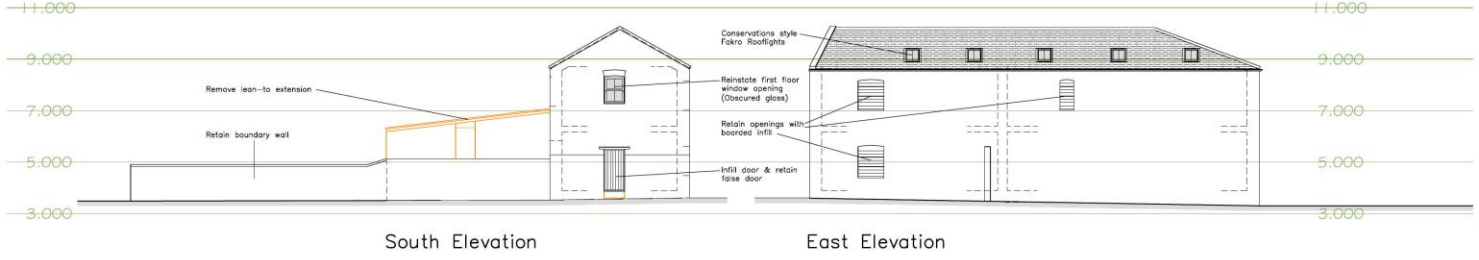
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**PROPOSED CONVERSION
 ROBERT ST WILLIAM STREET
 KING'S LYNN
 NORFOLK**

Drawing Title
EXISTING ELEVATIONS

Scale	Date	Drawn
1:100	Apr 23	MG

Drawing No: **1042/22 - 11** Rev:

The Planning Committee will consider the following matters:
 1. The proposed design of the proposed extension, including the design of the roof, the design of the walls and the design of the windows and doors.
 2. The proposed design of the proposed extension, including the design of the roof, the design of the walls and the design of the windows and doors.
 3. The proposed design of the proposed extension, including the design of the roof, the design of the walls and the design of the windows and doors.
 4. The proposed design of the proposed extension, including the design of the roof, the design of the walls and the design of the windows and doors.
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 8. The proposed design of the proposed extension, including the design of the roof, the design of the walls and the design of the windows and doors.
 9. The proposed design of the proposed extension, including the design of the roof, the design of the walls and the design of the windows and doors.
 10. The proposed design of the proposed extension, including the design of the roof, the design of the walls and the design of the windows and doors.



117

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

REV	DESCRIPTION	DATE

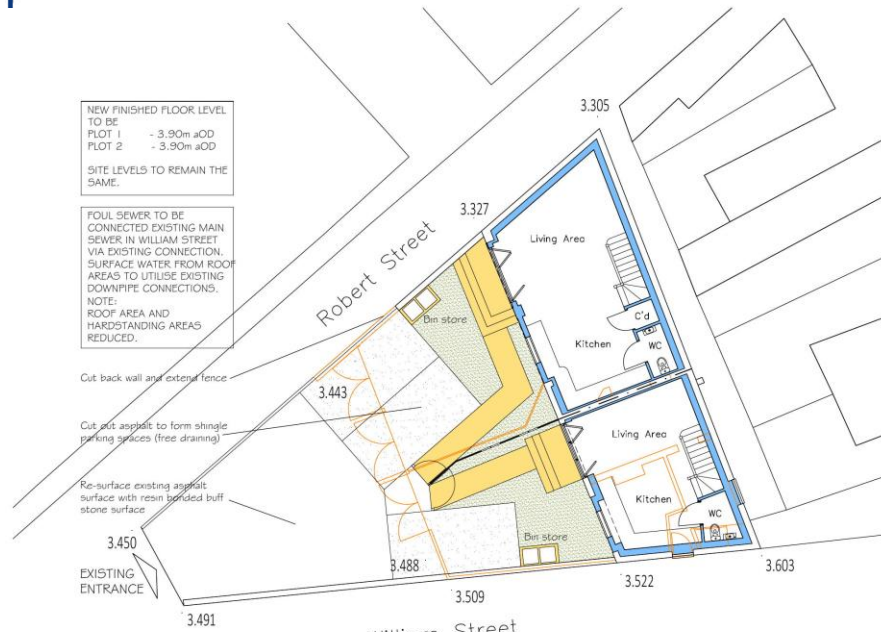
M DESIGN
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 King's Lynn
 Norfolk
 PE33 9HD
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 Email: mattgosing@aol.com

Project Title
**PROPOSED CONVERSION
 ROBERT WILLIAM STREET
 KING'S LYNN
 NORFOLK**

Drawing Title
PROPOSED ELEVATIONS

Scale	Date	Drawn
1:100	Apr 23	MG

Drawing No: **1042/22 - 13** Rev:



Ground Floor/Site Layout



First Floor Layout

The information contained on this drawing is preliminary and is subject to change without notice. It is the responsibility of the client to ensure that the information on this drawing is up to date and correct. It is the responsibility of the client to ensure that the information on this drawing is up to date and correct. It is the responsibility of the client to ensure that the information on this drawing is up to date and correct.

118

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 Norfolk
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Project Title
**PROPOSED CONVERSION
 ROBERT ST WILLIAM STREET
 KING'S LYNN
 NORFOLK**

Drawing Title
PROPOSED FLOOR PLANS/SITE LAYOUT

Scale	Date	Drawn
1:100	Apr 23	MG

Drawing No: 1042/22 - 12

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

119



120



Application site – south-west (front) elevation



121



Relationship with William Street (south)



122



Southern elevation from William Street



123



View westwards from William Street showing Southern elevation

124



125



Rear gardens to properties backing onto Robert Street

126



Rear gardens to properties backing onto Robert Street



127



Relationship with properties to rear
on Edward Street



128



Rear (eastern) elevation



129



View s-westwards along Robert Street showing north elevation

130



View s-westwards along Robert Street showing north elevation



131



Wider context view of site frontage



24/01188/F
and
24/01189/LB



24/01188/F
24/01189/LB

Slide
No. 132

133

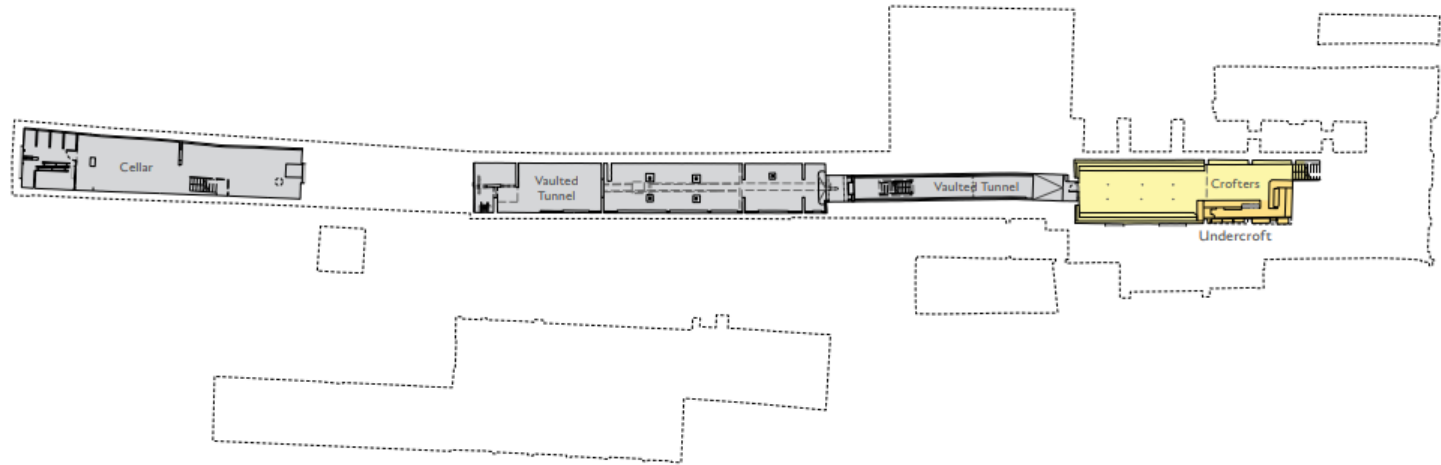


Undercroft floor plan existing (G-1)

Existing Undercroft Floor Plan

AREA KEY

- Performance
- BOH Circulation
- FDH
- FDH Circulation
- FDH WC
- FDH Servary
- Catering Support
- Creative Hub
- Gallery
- Site Operations / Admin
- Plant & Misc. Stores



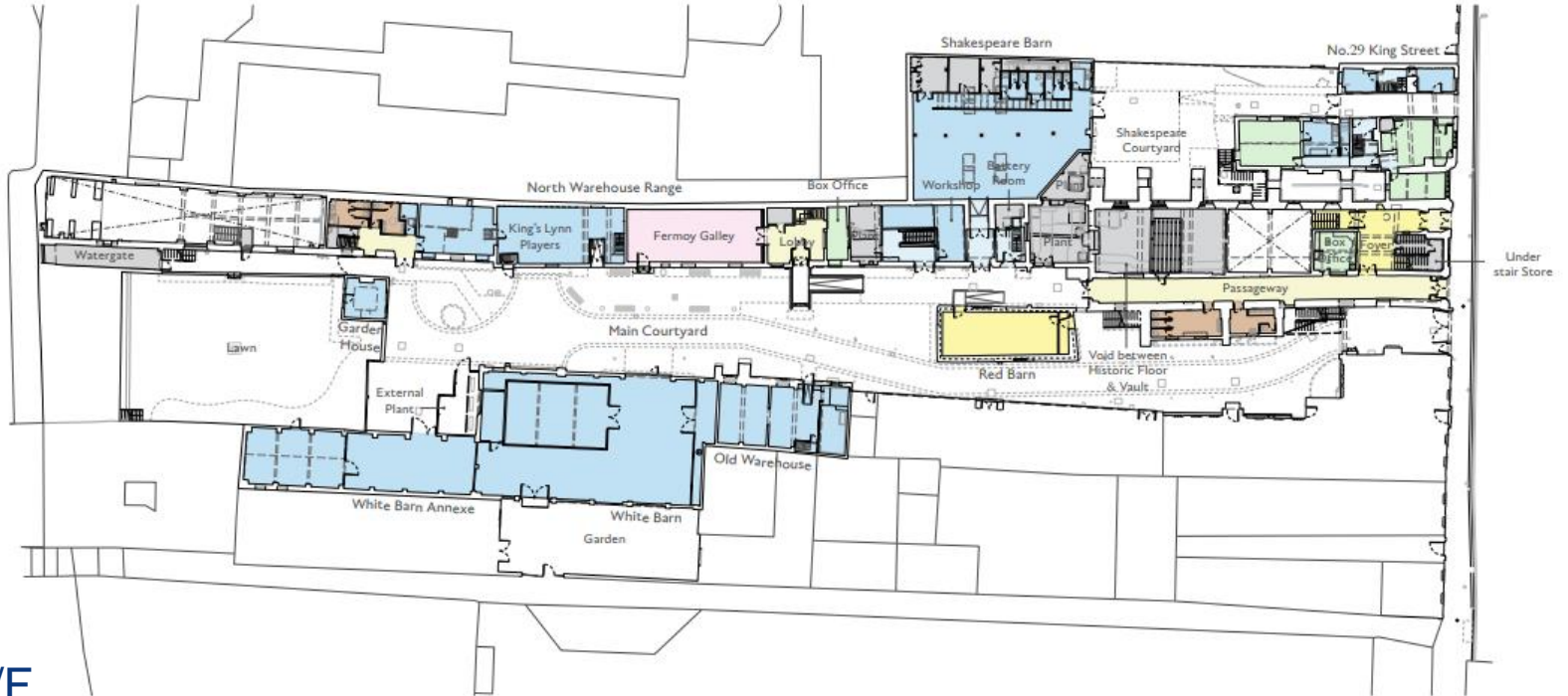
24/01188/F
24/01189/LB



Existing Ground Floor Plan

Ground floor plan existing (G+0)

- AREA KEY
- Performance
 - BOH Circulation
 - FOH
 - FOH Circulation
 - FOH WC
 - FOH Servery
 - Catering Support
 - Core Hub
 - Gallery
 - Site Operations / Admin
 - Plant & Mjic. Stores



24/01188/F
24/01189/LB

Existing First Floor Plan

First floor plan existing (G+1)

AREA KEY

- Performance
- BOH Circulation
- FDH
- FDH Circulation
- FDH WC
- FDH Servary
- Catering Support
- Creative Hub
- Gallery
- Operations / Adm'n
- Plant & Mjic. Stores



24/01188/F
24/01189/LB

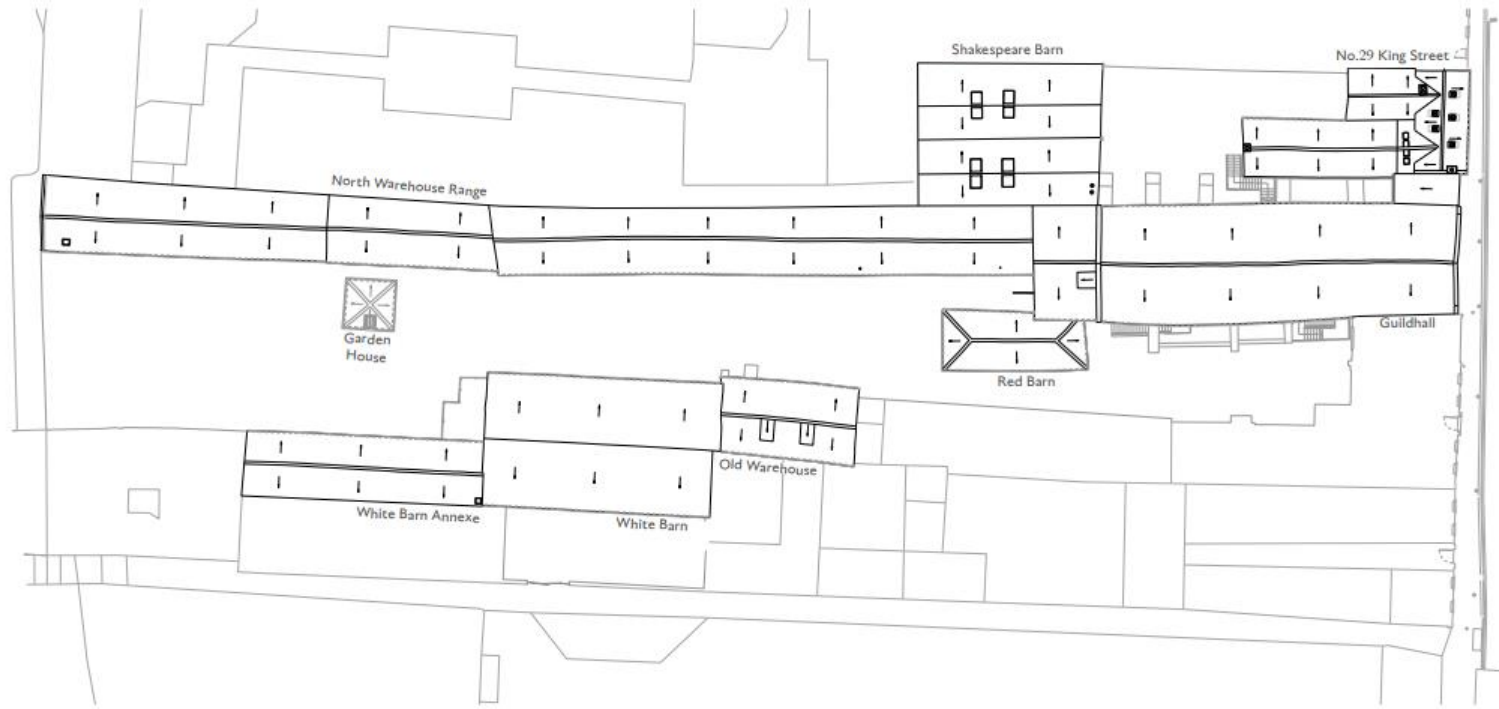


Roof plan existing

AREA KEY

- Performance
- BOH Circulation
- FOH
- FOH Circulation
- FOH WC
- FOH Servery
- Catering Support
- Creative Hub
- Gallery
- Site Operations / Admin
- Plant & Misc. Stores

137





01 - Existing Guildhall, Red Barn & North Range south elevation (facing onto Main Courtyard)



02 - Existing North Range south elevation (facing onto Main Courtyard)

138



03 - Existing Guildhall & Red Barn west elevation (facing onto Main Courtyard)



04 - Existing Shakespeare Barn east elevation (facing onto Shakespeare Courtyard)



05 - Existing Guildhall & No.29 east elevation (facing onto King Street)

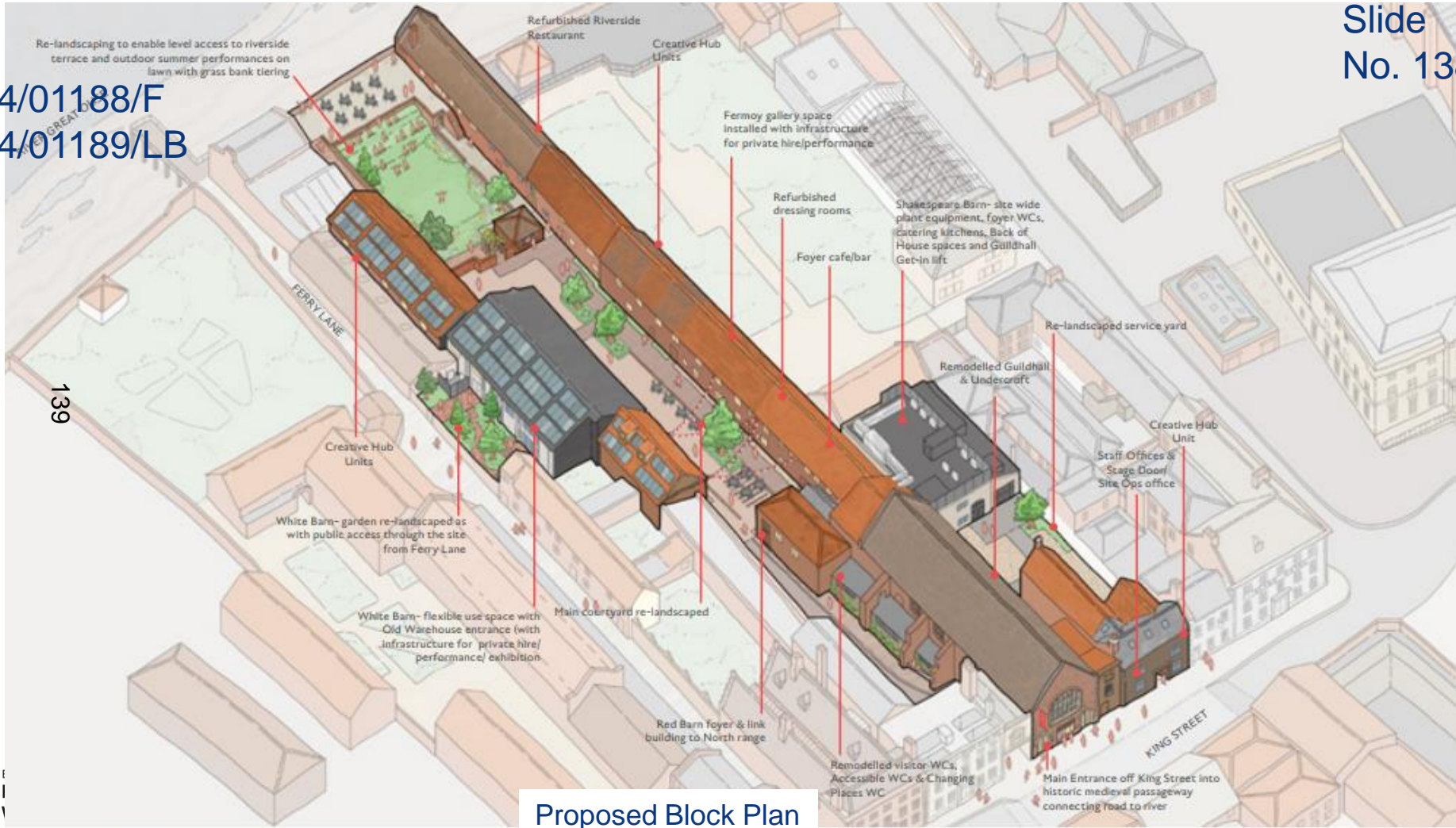


06 - Existing Old Warehouse, White Barn & White Barn Annexe north elevation (facing onto Main Courtyard)



Plan key to elevations

24/01188/F
24/01189/LB



139

Proposed Block Plan



REV	DATE	DESCRIPTION
P04	03/26/24	UPDATED PLANNING ISSUE
P03	06/26/24	UPDATED PLANNING ISSUE
P02	14/06/24	ISSUED FOR PLANNING
P01	13/05/24	ISSUED FOR PLANNING PRE APP

HaworthTompkins
HaworthTompkins, 110 Colchen Lane, London EC1Y 8TL
+44 (0)20 7299 3225, www.haworthtompkins.com

JOB 2302; ST GEORGE'S GUILDHALL
DRG PROPOSED SITE PLAN

DRG No: STGG-HTL-ZZ-00-DR-A-00-01000-P REV P04
SCALE 1:250@A1 DATE 25.04.24
DRAWN BY SR INSPECTED BY ML
DRAWING STATUS **PLANNING**

AREA KEY

- Performance
- BOH Circulation
- FOH
- FOH Circulation
- FOH WC
- FOH Servery
- Catering Support
- Creative Hub
- Gallery
- Site Operations / Admin
- Plant & Misc. Stores



Proposed Ground Floor Plan

- | | |
|---|---|
| <ul style="list-style-type: none"> 1. Heritage Experience Entrance & Orientation 2. Reception Office 3. No.29 Link 4. Site Porter & Operations Manager Office 5. Creative Hub Unit 6. Kitchen 7. Meeting Room 8. Passageway 9. Stage Trap 10. Void between Historic Floor & Vault 11. WCs 12. Foyer 13. Get-in 14. External Plant (Substation) 15. Electrical Switchgear 16. Staff Change | <ul style="list-style-type: none"> 17. Staff Lockers 18. Kitchen 19. Dry Store 20. Cold Store 21. Drinks Store 22. Fermoy Gallery 23. Creative Hub Break Out & Teapoint 24. Restaurant Bin Store 25. Restaurant Office 26. Entry Foyer & Shop 27. Flexible Space 28. Bin Store 29. Gallery Store 30. Plant 31. External Plant (Generator) 32. External Plant (ASHPs) 33. Garden Store 34. Store |
|---|---|



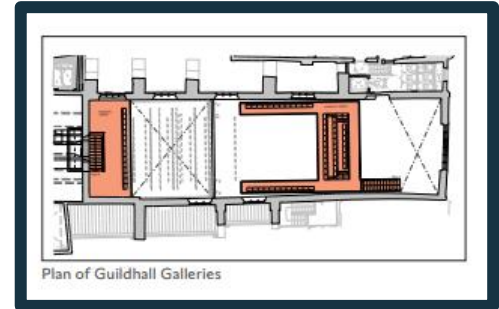
AREA KEY

- Performance
- BOH Circulation
- FOH
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- FOH WC
- FOH Servery
- Catering Support
- Creative Hub
- Gallery
- Site Operations / Admin
- Plant & Misc. Stores



Proposed first floor Plan

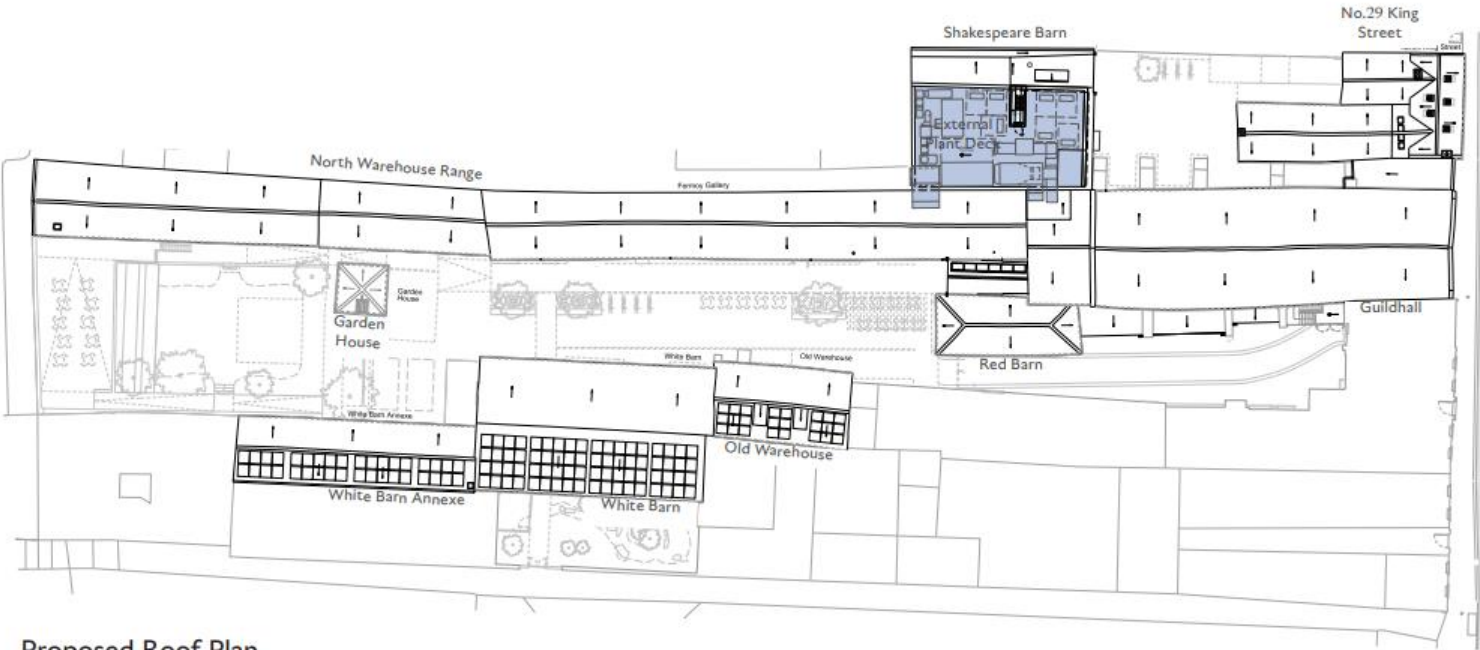
- | | |
|---|--|
| <ul style="list-style-type: none"> 1. Auditorium 2. Control Desk 3. Antechamber 4. No.29 Link 5. Office 6. Break Out Space 7. Creative Hub Unit 8. WCs 9. Stage 10. Screens Passage 11. Backstage 12. Amps & Dimmers Room 13. Heating Plant 14. Comms & IT Racks 15. Flexible Room (Green Room / Group Dressing Room / Rehearsal Room) | <ul style="list-style-type: none"> 16. Equipment, Staging & Rigging Store 17. Wardrobe & Costume Store 18. Dressing Room 19. Plant 20. Dry Store 21. Cold Store 22. Food Prep 23. Kitchen 24. Riverside Restaurant 25. Riverside Terrace 26. Creative Hub Break Out & Kitchen |
|---|--|



Plan of Guildhall Galleries



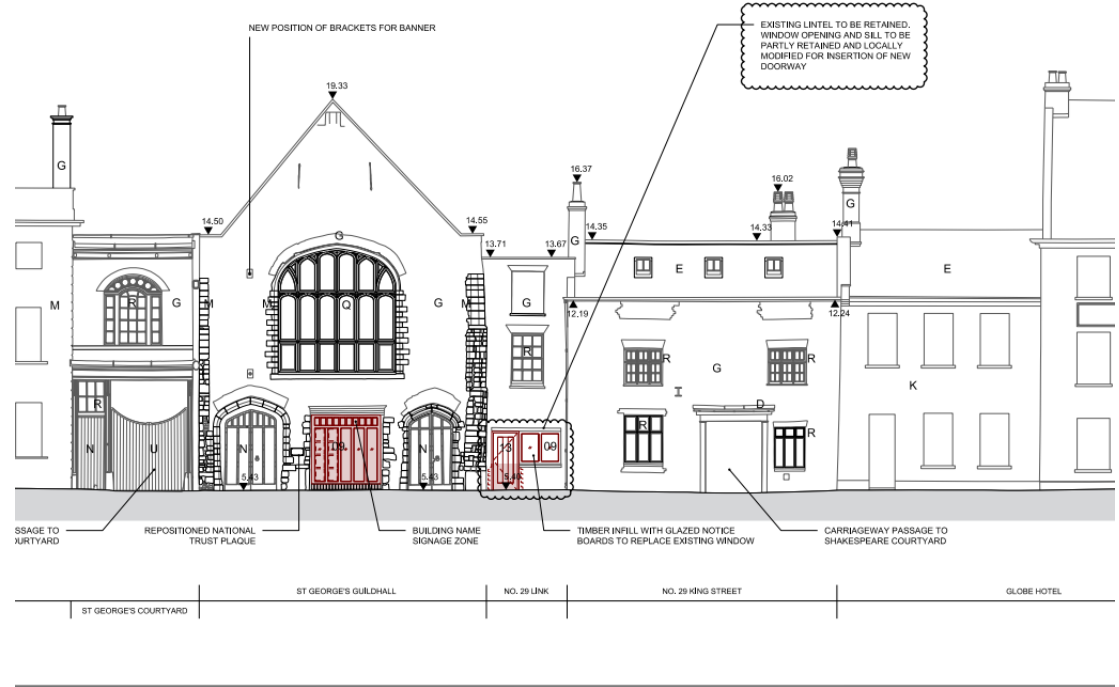
- AREA KEY**
- Performance
 - BOH Circulation
 - FOH
 - FOH Circulation
 - FOH WC
 - FOH Servery
 - Catering Support
 - Creative Hub
 - Gallery
 - Site Operations / Admin
 - Plant & Misc. Stores



Proposed Roof Plan



Existing Guildhall facade to King Street



Proposed East Elevations





145

27 KING STREET | ST GEORGE'S COURTYARD | ST GEORGE'S GUILDHALL | NO. 29 LARK | NO. 29 KING STREET | GLOBE HOTEL

01 EXISTING KING STREET EAST ELEVATION
1:100@A1



27 KING STREET | ST GEORGE'S COURTYARD | ST GEORGE'S GUILDHALL | NO. 29 LARK | NO. 29 KING STREET | GLOBE HOTEL

02 PROPOSED KING STREET EAST ELEVATION, DAY
1:100@A1



St George's Passage and Red Barn comparison plans

Passageway WCs - comparative elevations

24/01188/F
24/01189/LB



146



24/01188/F
24/01189/LB

147

Passageway WCs - external treatment



Facade bay elevation



Sketch view of proposed WC blocks



Site photo of existing WC blocks



Timber cladding



Expressed cover strips at board joints



Zinc standing seam roofing



Planting example



Proposed foyer details



Proposed view of activated main courtyard looking east towards Red Barn and foyer Link with cafe tables and landscaping



Proposed west elevation of foyer Link and Red Barn, with Gullhall beyond



Foyer link massing diagram



Foyer link aerial view

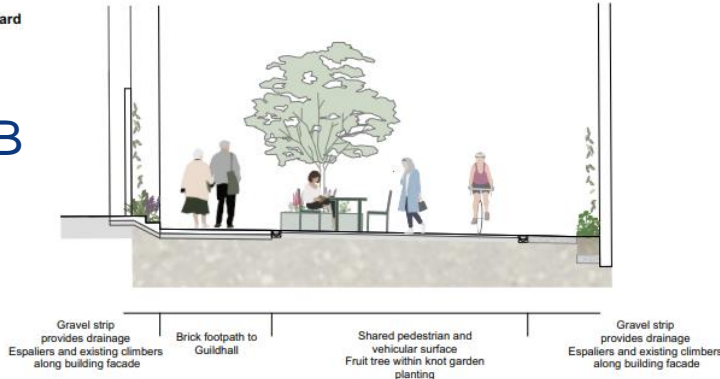


Proposed south elevation of the Red Barn

Cross Section AA - Maltings Yard

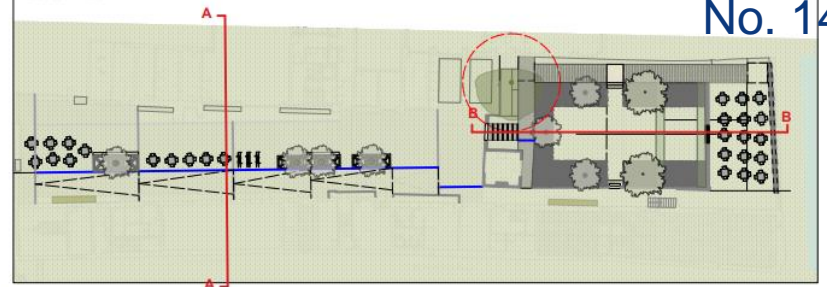
Scale 1:100

24/01188/F
24/01189/LB



Key Plan

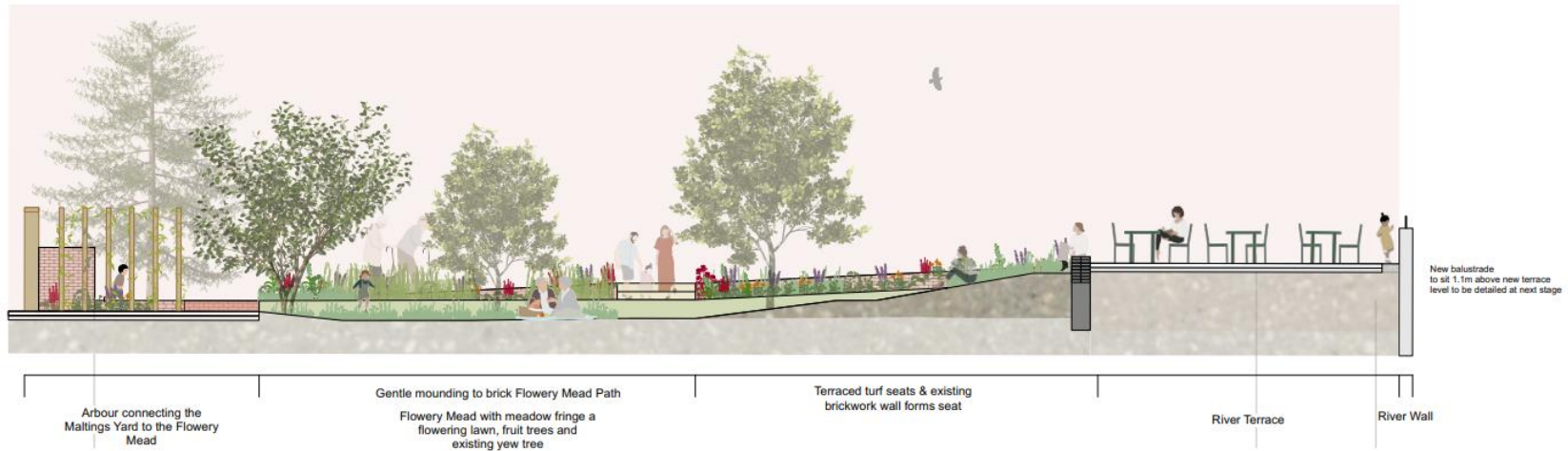
Scale 1:500



Section BB - Flowery Mead

Scale 1:100

149



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Do not scale from this drawing. Any discrepancies or omissions should be brought to the attention of the authors. Dimensions are to be verified on site prior to construction.
All existing site, tree and building information has been compiled from different sources.
Refer to current revisions of all referenced files.

Notes:

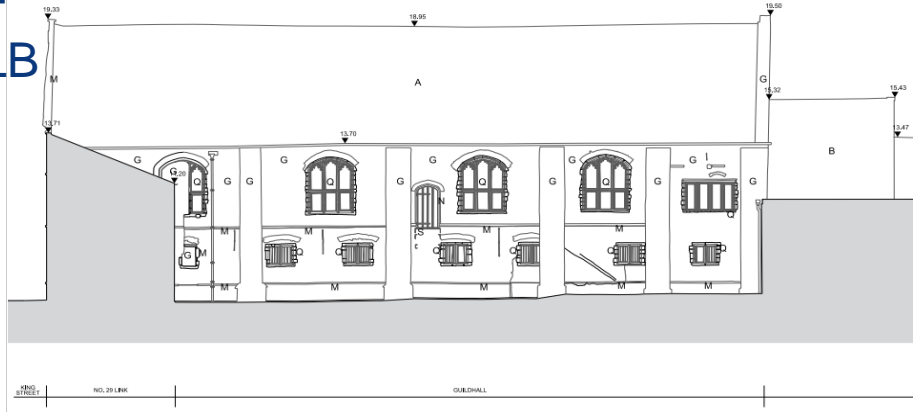
Proposed Landscaping sections

Rev	Date	Description
P01	13.06.2024	Planning Issue

JCLA
Jonathan Cook Landscape Architects Ltd
24 Old Ford
LONDON E8 1TJ UK
Tel +44 (0)207 703 3270
www.jcla.co.uk

Client

151

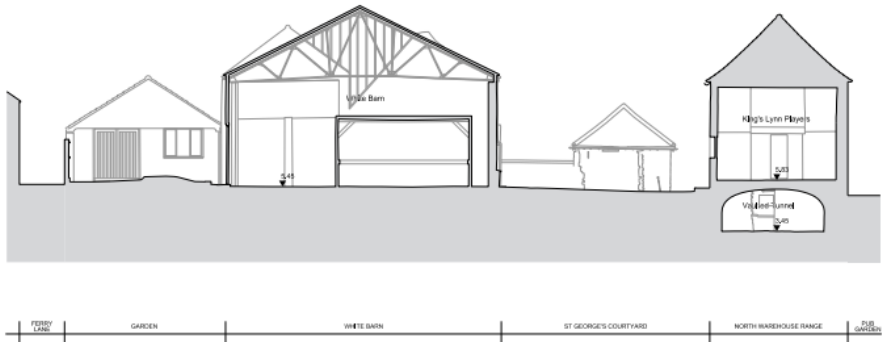


01 EXISTING NORTH ELEVATION ZONE 1
1:100@A1

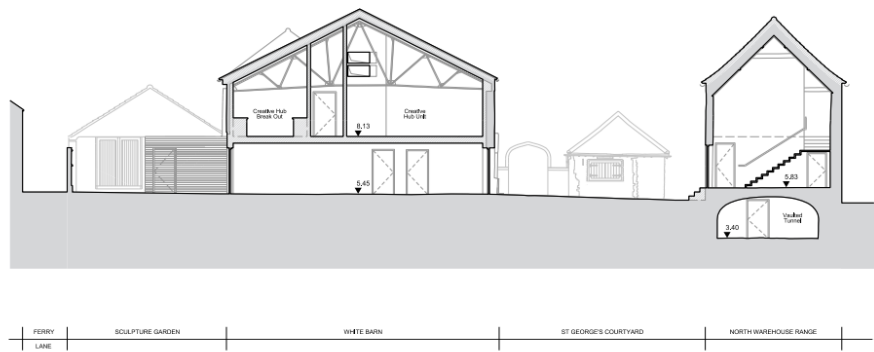


01 PROPOSED NORTH ELEVATION ZONE 1
1:100@A1





02 EXISTING SECTION LL
1:100@A1



02 PROPOSED SECTION LL
1:100@A1





01 EXISTING SHAKESPEARE BARN EAST ELEVATION
1:100@A1



01 PROPOSED SHAKESPEARE BARN EAST ELEVATION
1:100@A1



24/01188/F
24/01189/LB

Slide
No. 154

155



St George's Guildhall, as viewed from King Street

156



St George's Courtyard, towards position of proposed Foyer



St George's Courtyard, towards position of proposed Foyer



24/01188/F
24/01189/LB

Slide
No. 157

158



24/01188/F
24/01189/LB

Slide
No. 158

159





161



Existing garden space



View of garden space from terrace





Existing terrace area to be extended and refurbished

164



Ferry Lane Social Club as viewed from terrace



24/01188/F
24/01189/LB

Slide
No. 164

165



24/01188/F
24/01189/LB

Slide
No. 165

166



24/01188/F
24/01189/LB

Slide
No. 166

167



View of flats at Old School Court from White Barn Garden,
existing gate





Internal view of the White Barn Garden



24/01188/F
24/01189/LB

Slide
No. 168

169



24/01188/F
24/01189/LB

Slide
No. 169

170



Boundary between Kings Lynn Players and the Old Warehouse



24/01188/F
24/01189/LB

Slide
No. 170

171



Red Barn and access route to King Street

24/01188/F
24/01189/LB

Slide
No. 171

172



Red barn, to have windows inserted



24/01188/F
24/01189/LB

Slide
No. 172

173



South elevation of Guildhall, toilet block to be replaced & escape stairs removed



24/01188/F
24/01189/LB

Slide
No. 173

174



East elevation of Red Barn & South West Corner of
Guildhall, toilet block to be replaced



24/01188/F
24/01189/LB

Slide
No. 174



Shakespeare Barn east elevation, viewed from access point

24/01188/F
24/01189/LB

Slide
No. 175



176

Shakespeare Barn east elevation, internal courtyard view

24/01188/F
24/01189/LB

Slide
No. 176



177

View from Shakespeares Courtyard towards King Street

178



Internal view of the Stage in the Guildhall

179



Internal view of the Guildhall

24/01188/F
24/01189/LB

Slide
No. 179

180

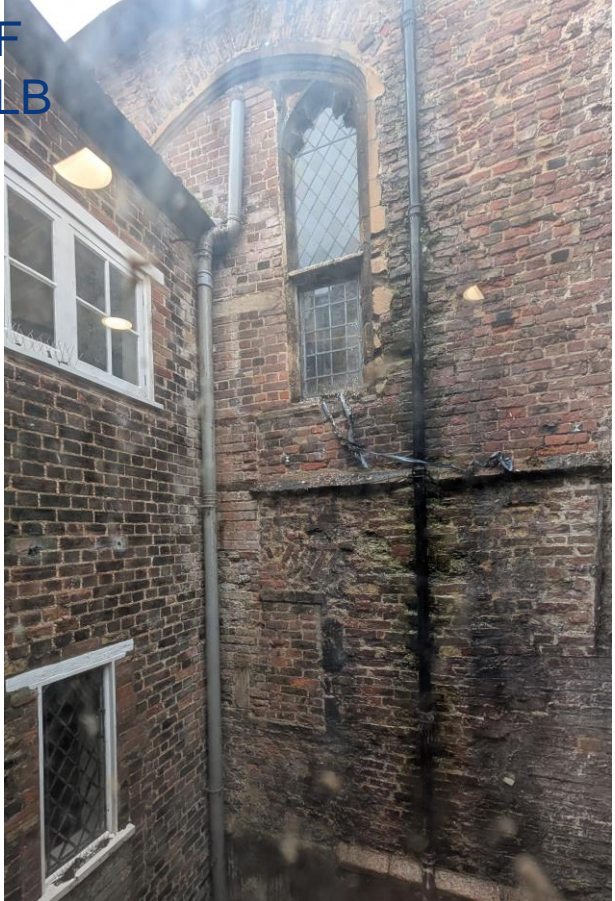


Internal view of the Guildhall

24/01188/F
24/01189/LB

Slide
No. 180

181



Historic filled in window to be reopened to form doorway to extension



24/01188/F
24/01189/LB

Slide
No. 181

182



View from inside No.29 King Street towards position of extension link

24/01188/F
24/01189/LB

Slide
No. 182

183



Buttress and position of link extension



24/01188/F
24/01189/LB

Slide
No. 183

184



View from top of Ferry Lane

24/01188/F
24/01189/LB

Slide
No. 184

185



View along Ferry Lane towards social club



24/01188/F
24/01189/LB

Slide
No. 185

186



24/01188/F
24/01189/LB

Slide
No. 186

187

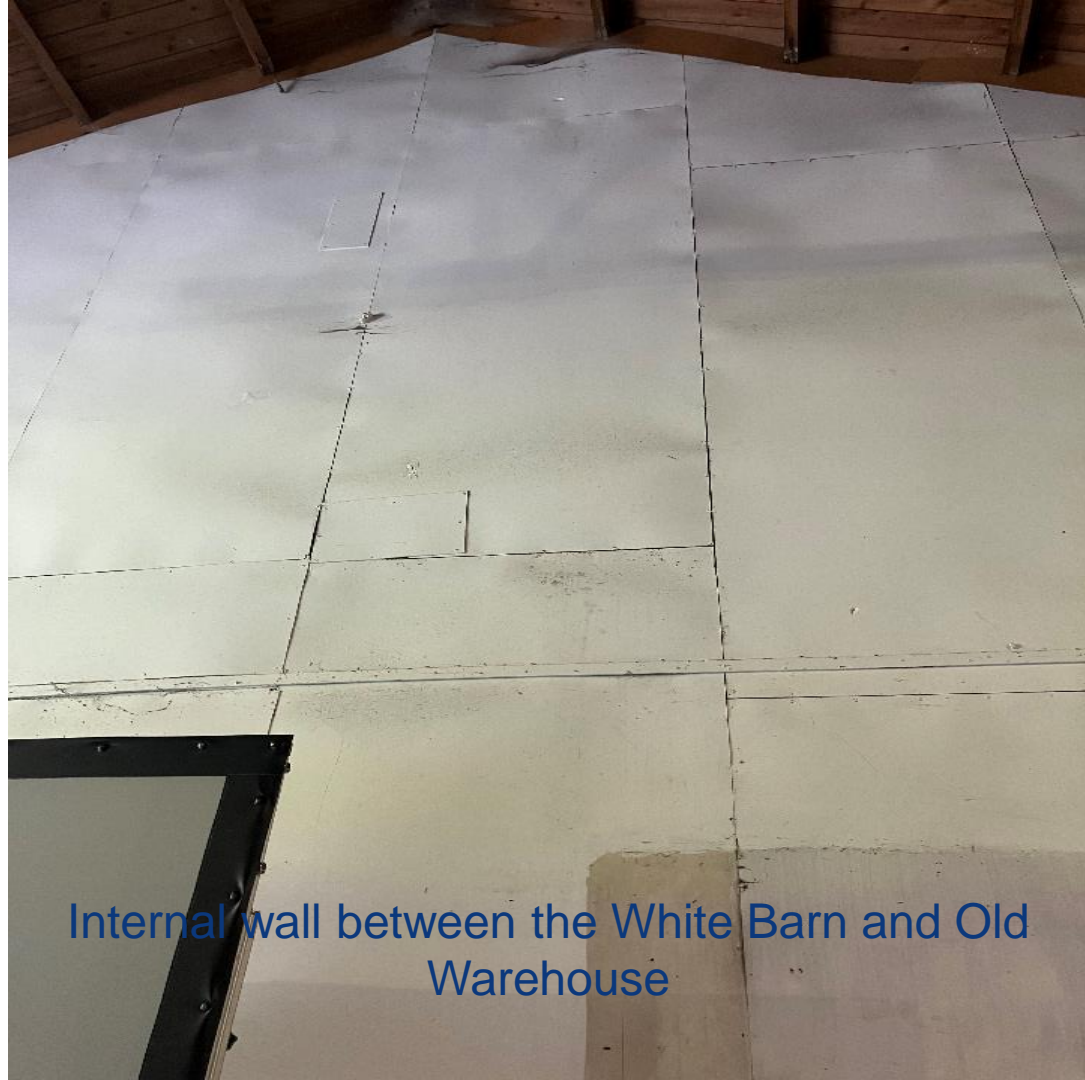


24/01188/F
24/01189/LB

Slide
No. 187

188





Internal wall between the White Barn and Old
Warehouse

24/01188/F
24/01189/LB

Slide
No. 189

190



Internal view of the White Barn

24/01188/F
24/01189/LB

Slide
No. 190

191



Basement level North Warehouse
Range

24/01188/F
24/01189/LB

Slide
No. 191

192



Underneath the Fermoy Gallery

24/01188/F
24/01189/LB

Slide
No. 192

193



Internal view of the White Barn Annexe

194



Internal view of the White Barn Annexe

24/01316/F

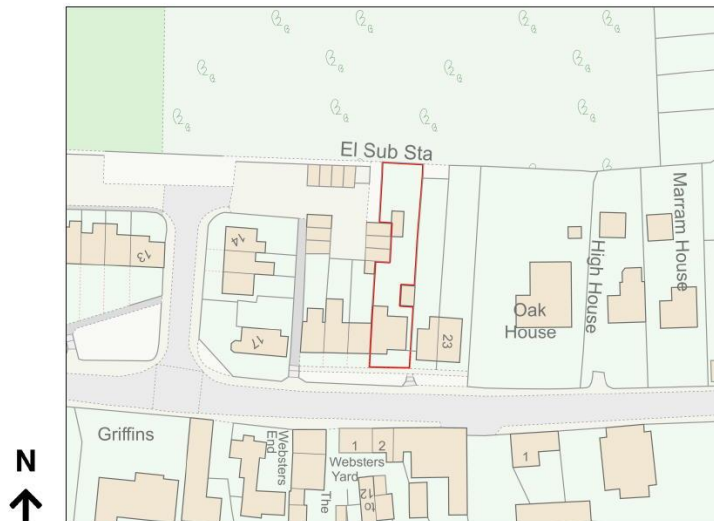
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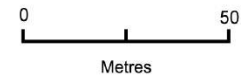
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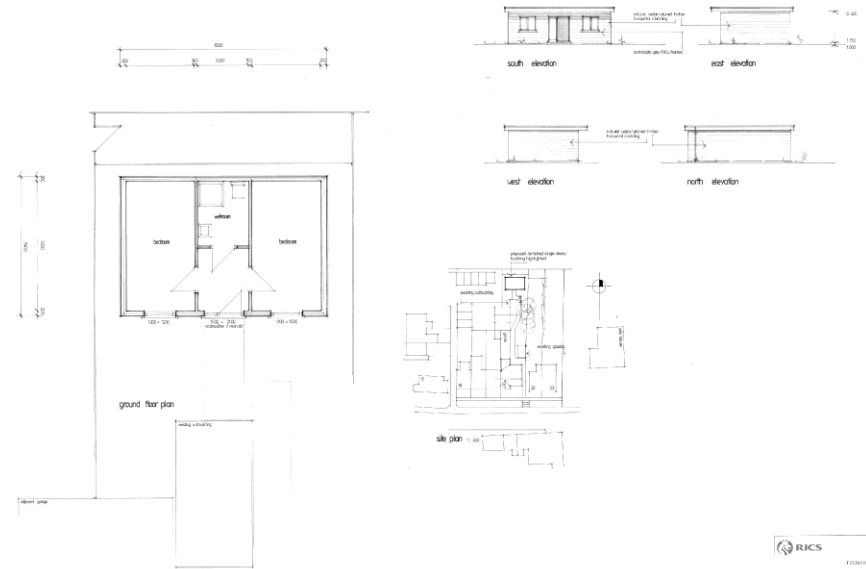
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196



Planning Portal Reference: PP-12428691v1





		Jonathan W Burton ARCHITECTURAL DESIGN	
		<small>12, 13 & 14, South Street, Norwich, Norfolk NR1 1JF 01603 616161 www.jwbarton.co.uk </small>	
Project	10000mm	10000mm	10000mm
Client	10000mm	10000mm	10000mm
Drawn by	10000mm	10000mm	10000mm
Scale	1:500	1:500	1:500
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198



Front elevation showing levels



199



Rear behind caravan showing
gate to access (Northwest)



200



Rear behind caravan showing gate to access (Northeast)



201



Rear (to the North)



202



View to the East



203



View to the South showing levels



204



View to the North



END OF PRESENTATION

